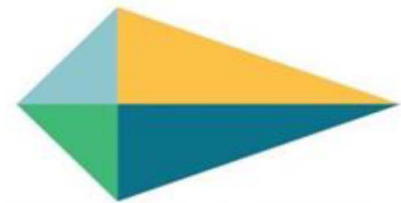


Wrentham Conservation Area



EASTSUFFOLK
COUNCIL

On 1 April 2019, East Suffolk Council was created by parliamentary order, covering the former districts of Suffolk Coastal District Council and Waveney District Council. [The Local Government \(Boundary Changes\) Regulations 2018](#) (part 7) state that any plans, schemes, statements or strategies prepared by the predecessor council should be treated as if it had been prepared and, if so required, published by the successor council - therefore this document continues to apply to East Suffolk Council until such time that a new document is published.

Written by

*Dr. Paul Bradley and
James Darwin, and the*

*Waveney District
Council Design &
Conservation Team*

March 2011

Character Appraisal



Fig 2. View looking towards the 'Five Cross Ways' junction



Fig 3. View looking east down Southwold Road



Fig 4. View looking north up the High Street



Fig 5. View of the South Lodge entrance to Benacre Park



Fig 1. Location Plan

This copy has been produced specifically for Planning & Building Control purposes only. No further copies may be made. Reproduced from the Ordnance Survey map with the permission of the Controller of Her Majesty's Stationery Office. Crown Copyright reserved. License No. 100042052 Waveney District Council.

Contents

Page 3	Introduction
Page 3	Planning Policy Framework
Page 3	Assessing Special Interest
Page 3	Location and Context
Page 5	General Character and Plan Form
Page 7	Landscape Setting
Page 7	Recent Development
Page 9	Historic Development & Archaeology
Page 11	Spatial Analysis
Page 12	Key Views & Vistas
Page 15	Heritage Assets
Page 18	Prevalent & Traditional Building Materials & Details
Page 19	Summary
Page 20	Community Involvement
Page 20	Local Generic Guidance
Page 22	Appendices

Introduction

The historic environment is all around us in the form of buildings, landscapes, archaeology and historic areas; it is a precious and irreplaceable asset. Once gone it is gone forever.

Caring for the historic environment is a dynamic process which involves managing change. This does not mean keeping everything from the past but it does mean making careful judgements about the value and significance of buildings and landscapes. Critical to these decisions is an understanding and appreciation of an area's character, including its social and economic background and the way in which such factors have shaped its urban fabric. This should be the starting point for making decisions about both its management and future.

This conservation area appraisal:

- 1) Describes the character of the area
- 2) Identifies its special character
- 3) Puts forward a basis for effective control of development.
- 4) Identifies proposals for its enhancement

Planning policy framework

Conservation Areas were introduced through the Civic Amenities Act in 1967 and there are sixteen in Waveney District, two of which are now administered by the Broads Authority. Conservation Areas are 'areas of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance'. The Wrentham Conservation Area was designated in 1980.

Designation as a Conservation Area is not intended to prevent new development, or stifle the area's economic life or potential, though it is expected that a high degree of attention will be paid to design, repair and maintenance in such areas and, when exercising planning powers, the Council will pay special attention to the preservation and enhancement of the Conservation Area according to the policies for the built environment set out in the Waveney District Council Core Strategy, adopted 2009, and Development Management Policies Development Plan Document, adopted January 2011, which replaces the adopted Local Plan of November 1996.

In recognition of these policies and in line with the requirements of the 1990 Planning (Listed Buildings & Conservation Areas) Act, The Council will continue to formulate and publish proposals for the preservation and enhancement of the conservation area and will consult the public on these proposals.

Assessing Special Interest

Location and Context

Wrentham is situated 7.5 miles south west of the harbour town of Lowestoft, 4.5 miles north of Southwold, and approximately 2 miles inland from the North Sea. The Landscape is predominantly flat and agricultural. The river Wren flows through the village, to the rear of properties to the west of the A12. The route of the river is largely obscured from view, with only the occasional brick bridge head marking its route through the village and under the A12, and consequently makes little visual contribution to the character of the conservation area. The village is a busy

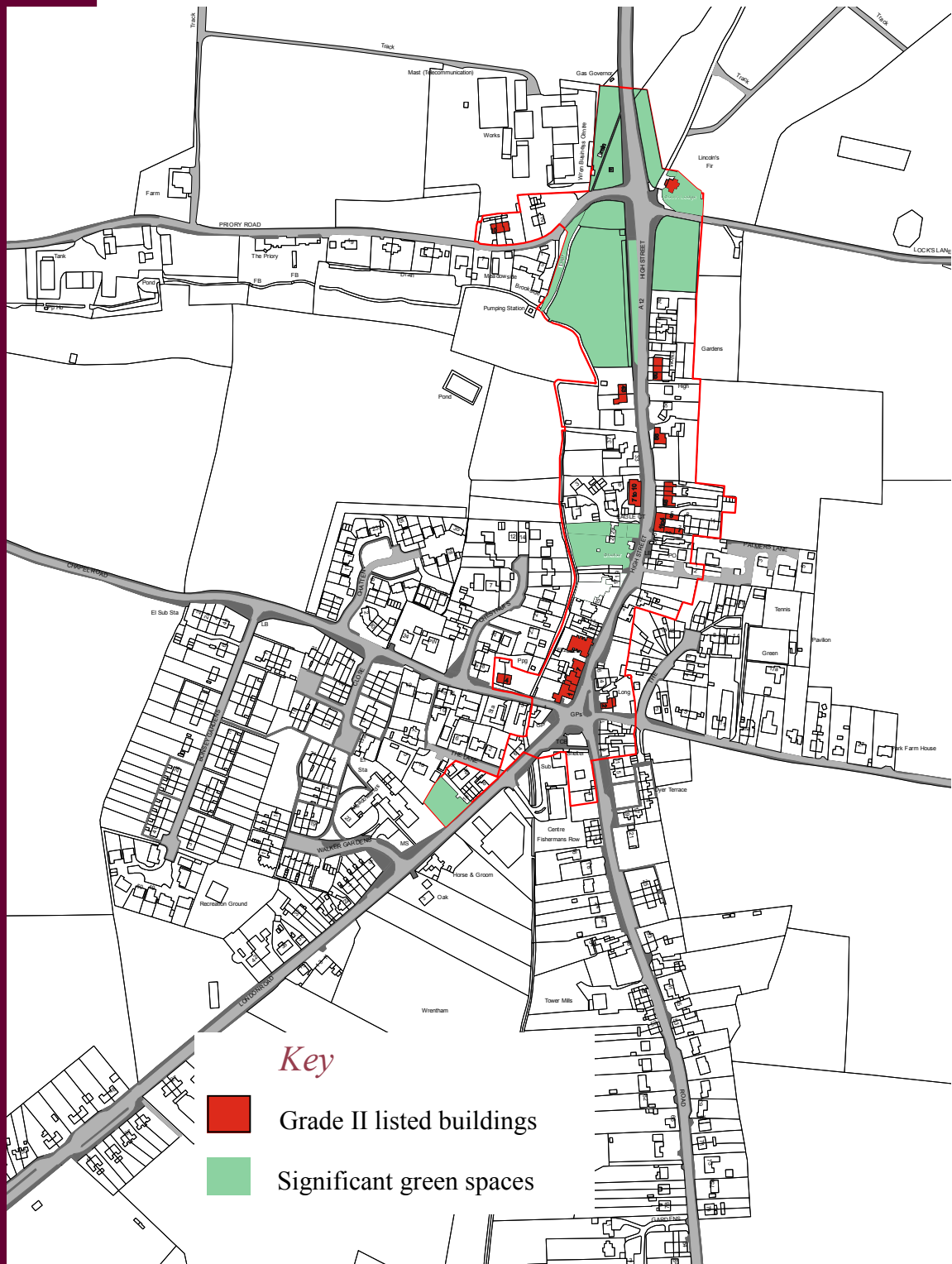


Fig 6. Wrentham—Existing conservation area

rural settlement, and comprises a mix of residential and commercial property, with a small quantity of accommodation being used for holiday rentals. The population of the settlement is in the region of 950 residents.

Wrentham is bisected by the A12 London to Great Yarmouth road, which runs approximately north – south through the conservation area. Intersecting the A12 are road junctions to Beccles, Southwold and Covehithe; all of which converge at the heart of the village to form what locally is referred to as the ‘Five Cross Ways’ junction.

Wrentham is served by bus routes to local towns, but has never been directly connected to the railway network. The village however retains a good range of local shops, stores, a café and takeaway food outlets.

The Wrentham conservation area is small; it includes the area to the south of the ‘Five Cross Ways’ junction, and extends north, along the east and west sides of the A12. The south lodge and entrance gates to Benacre Park form the northernmost boundary. Also included are parts of the tributary roads leading from the A12, including Southwold Road, Chapel Road, Mill Lane, Priory Road and a short section of Lock’s Lane. The designated conservation area totals approximately 7 hectares in size.

The parish church of St. Nicholas is situated 0.5 miles to the west of the settlement, and is outside the conservation area.

Unsurprisingly for a settlement that has developed over time, the building stock is of varying date, appearing to range from mid C18 dwellings (although in places perhaps partially concealing an earlier

origin) to Victorian gothic civic buildings, to early C20 commercial premises.

Predominantly the village comprises of early to mid C19 dwellings, with a number having been built at various stages by the Benacre estate to house workers.

Given the rural nature of the surrounding areas, the Wrentham conservation area has surprisingly few public green spaces; to the southern end exists a small grassed bank with a collection of mature trees, and directly opposite this is the garden belonging to the Horse and Groom public house. To the northern end of the village is an area of meadow (to the west of the A12), and immediately to the east is a dense area of trees and mature planting. A small section of parkland surrounding South Lodge on the Benacre estate falls within the conservation area, as does the screen planting surrounding the Wren business centre to the north of Priory Road.

To the west, and outside the conservation area boundary, are significant historic elements:

- 1) Church of St. Nicholas, Church Street. Listed Grade I.
- 2) Church Corner Cottage, Church Room and Crossways Cottage, formerly a guildhall. Listed Grade II.
- 3) Village Pound, at the junction of Priory Road and Chapel Road. Listed Grade II.

General Character & Plan Form

Unlike many quiet Suffolk villages situated away from major roads, Wrentham has developed largely as a result of the road. As a consequence, the village has long had a busy commercial quality, which it retains to this day.

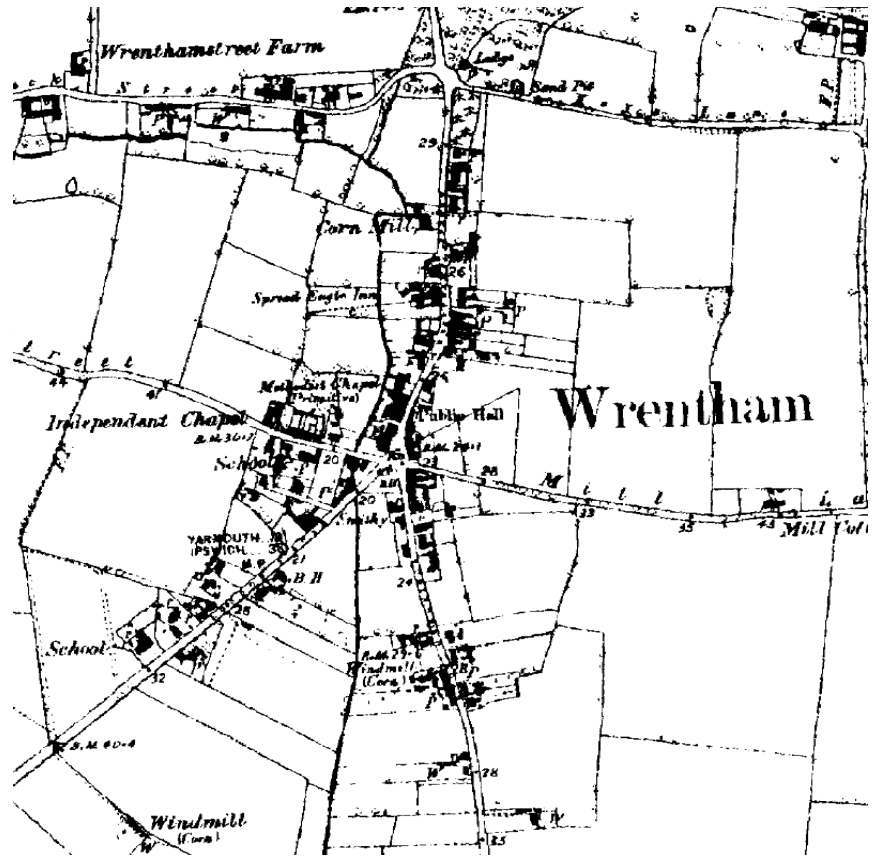


Fig 7. Extract of 1883 Ordnance Survey Map of Wrentham.

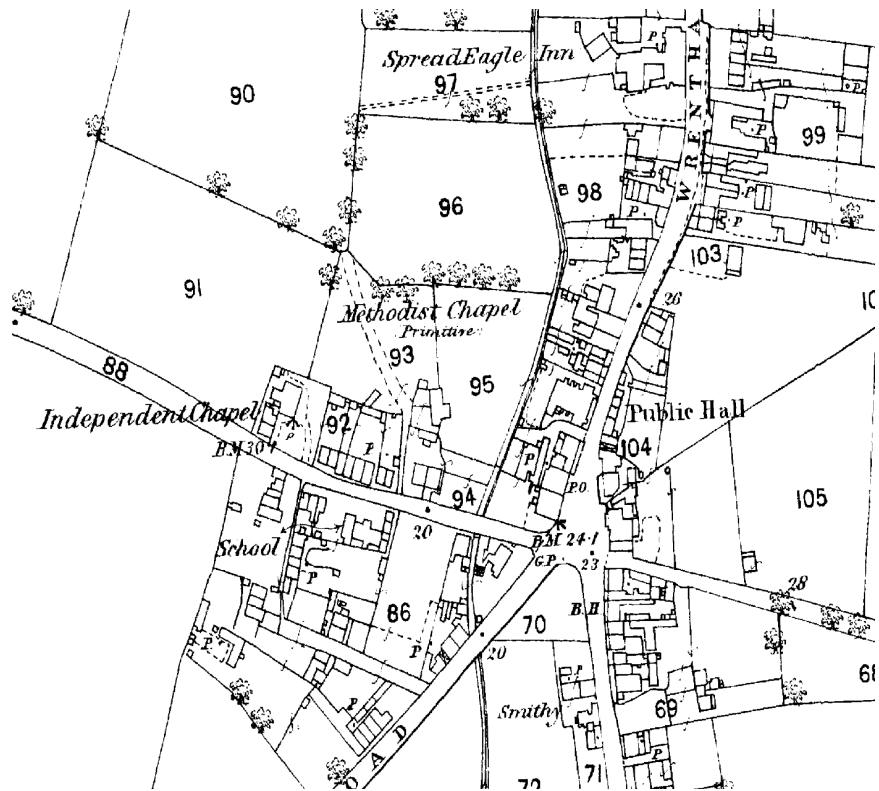


Fig 8. Extract of 1884 Ordnance Survey Map of Wrentham

The general character of the area adjacent to the A12 is vibrant, although the side roads possess a quieter and more rural feel.

The largely linear form of Wrentham developed with the London to Great Yarmouth trunk road (the A12). In 1785, an act was issued for “amending and keeping in repair the road leading from Ipswich to South Town...” Wrentham was situated between the toll gates to the south at Bulcamp (near Blythburgh) and Benacre.

Either side of the A12 are an eclectic mix of buildings predominantly of early to mid nineteenth century in date, and which are generally two storeys in height. There are however notable exceptions and these are important in enriching the character and enlivening the streetscape.

The side roads within Wrentham have a comparable quality of buildings although away from the A12 the buildings are almost entirely domestic and less densely grouped.

Landscape Setting

Although the predominantly flat agricultural landscape has in the past been an important factor in the development and commercial success of the village, today there is little evidence of this activity within the conservation area. The farms and their associated outbuildings, and the separate forges that once formed a key element of the character of Wrentham have either been demolished and the site redeveloped, or the buildings have been converted for residential use.

The southernmost tip of Benacre Park is included in the Suffolk Coast and Heaths Area of Outstanding Natural Beauty (AONB). The boundary of the AONB

follows the A12 to the west of the park and then heads east along Lock’s Lane. It then dog-legs, following a minor road south, before following the line of the parish boundary.

Benacre Park does not yet appear on the English Heritage register of Historic Parks and Gardens.

Recent Development

Development within the conservation area has been sporadic and reasonably limited. The two most significant recent developments have been to the rear of existing listed buildings, namely the housing development behind the former Spread Eagle Hotel, and the land to the rear of Bank Mews, both on the High Street.

The development to the rear of the former Spread Eagle Hotel comprises a mix of substantial brick dwellings, and a range of smaller terraced properties, of which some of the properties, and their associated garages, can be seen from the public highway. The mix of size and scale is important, and the materials employed have attempted to continue both the local vernacular as well as the character of the Grade II listed building fronting the main street.

The land to the east of the Grade II listed Bank Mews has been redeveloped and a range of attached storey-and-a-half properties now occupy the site. Although the rendered elevations exist in contrast to the fine gault brick façade of the Bank Mews, the limited material palate and use of cobble panels makes an attempt at achieving an understated vernacular character.

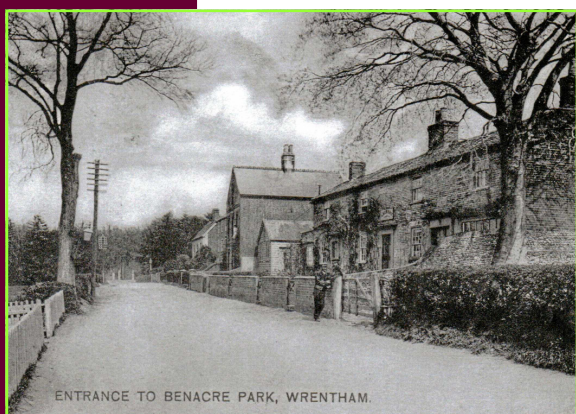


Fig 9. Historic View, c1900, looking north up High Street



Fig 10. Historic View, c1920, showing Wrentham Garage (now Boggis Electrical)



Fig 11. Historic View, c1900, looking south down London Road

Elsewhere there are occasional examples of late twentieth century infill housing. Fortunately these properties tend to continue the height and building line established by adjacent dwellings, and consequently their visual impact is minimal. There are several examples of nineteenth century outbuildings having been converted into residences, which have generally altered the character and setting of the accommodation.

Many domestic properties have been altered through the addition of enclosed porches, and to a lesser extent by the construction of conservatories and garages.

Small areas of the High Street have experienced the loss of buildings, and where these have not been redeveloped pockets of open space have been created. Most significant to the character of the area has been the redevelopment of the Village Hall and adjacent garage premises (the latter now a retail outlet), as the scale of both buildings is considerably larger than those surrounding. Although these buildings are outside the conservation area, they are prominently positioned and clearly visible from within the boundary.

Although Wrentham has areas of high volume late twentieth century housing developments, these have generally been carefully sited and are outside the conservation area. Only Walker Gardens, which sits on an elevated site just beyond the south boundary, is visible when travelling through the area.

Historic Development and Archaeology

The Origins and Historic Development of the Area

The exact origins of the settlement at Wrentham are unclear. However, the village is mentioned in the Domesday Book, and the entry records lands comprising of 1760 acres of arable land and 604 acres of wood and common being owned by William De Warrens of Varennes.

During the eleventh century, Wrentham was considered to be the sixth largest and most important settlement in Suffolk, and it is recorded that the village originally possessed two churches. The location of the second church is not fully documented.

Before the arrival of the turnpike road, the settlement, which was predominantly a farming community, was clustered around the Church of St. Nicholas, which stands to the west of the village. By the late fifteenth / early sixteenth century a guildhall had been built to the south of the church, and by the early nineteenth century a circular pound for holding stray livestock had been constructed at the corner of Priory Road and Chapel Road.

Wrentham Hall, which stood to the north of the church, is believed to have been built circa 1550 by Humphrey Brewster. The house remained in the same family until 1810, when it was purchased, and subsequently demolished, by Sir Thomas Gooch, 4th Bt.

By the time Hodkinson's Map of 1783 had been produced, the settlement can be seen to have begun to spread to the east of the church, and a linear development had begun

to form along the turnpike road. By the eighteenth century The Spread Eagle coaching inn had been built, and by the early nineteenth century blacksmiths, saddle makers, cobblers and other trades and industries associated with a bustling agricultural community now lined the thoroughfare.

By 1837 a British and Foreign School had been constructed on Chapel Road (the building was extended in 1871, and again in 1909). On London Road, to the south of the village (and outside the conservation area) a National School was established in 1834. The building was constructed to accommodate 145 pupils, and was extended in 1905. It closed in 1990. There are currently no schools operating in Wrentham.

It is believed Wrentham had four or five windmills, although evidence to support the existence of each building is variable. The first recorded is Fletcher's Mill, shown on the 1736 map of the village, situated on Mill Lane. Between 1736 and 1782 the mill was relocated to a site nearer London Road. By 1912 the mill had ceased operation, and during 1931 it collapsed.

Carters Mill, situated off Southwold Road (behind the Five Bells Public House) first appears on the 1823 map. This mill had also ceased operation by 1912, although remained standing until 1955.

Tower Mill is thought to have been constructed between 1825 and 1837, and was a wind and steam mill. The mill was purchased by Sir Alfred Gooch of Benacre Hall, and leased. By 1942 the mill was a mere shell, and the site was cleared by 1964.

Gunn's Mill was situated to the rear of



Fig 12. Historic View, c1920, showing The Post Office, High Street



Fig 13. Historic View, c1930, showing The Spread Eagle Hotel, High Street



Fig 14. Historic View, c1900, showing The Saddle Shop, 18 High Street

Mistletoe Cottage, on the west side of the High Street. Built circa 1881, it is thought to have been a steam mill. The 1903 O.S. Map shows no trace of the mill.

Only the site of Gunn's Mill is thought to be within the conservation area boundary.

By the mid nineteenth century a Reading Room had been established, and by 1862 a Town Hall, built in a gothic style and designed to accommodate 400 people, stood on the west side of the High Street.

Maps produced by village historians show that during the early twentieth century the properties surrounding the 'Five Cross Ways' junction were predominantly business premises. By 1903 Wrentham had 4 butchers, 3 grocer and draper shops, a saddle maker, a cycle agent, a builder, an outfitters, a confectioner, a post office, a chemist, a baker, a watch maker and hairdresser, 2 farms and 4 public houses.

By 1954, the picture was largely the same, but the addition of a garage on the High Street reflects the increasing affordability of motor vehicles. The centre of Wrentham was clearly a vibrant commercial area, benefitting greatly from the constant influx of people along the A12.

The decline in the number and variety of shops seen within Wrentham today echoes the national trend, with takeaway restaurants now predominant, whereas grocers, bakers, butchers and farm complexes have disappeared.

Archaeology within the Village of Wrentham Conservation Area

Archaeological Sites

Corn Mill (presumably Gunn's Mill), High

Street (WRE 020).

Stray Finds.

None within the conservation area.

Within the proposed conservation area boundary extension exists, on Priory Road, the site of the former brass and iron foundry (to the west of No's 6, 8 and 10 Priory Road). The foundry is shown on the 1884 OS map, on what was then known as 'Back Street', and is still largely evident on the 1982/3 OS map. The site has now been fully cleared of aboveground structures. The SMR number for this site is: WRE 021.

Spatial Analysis

The Character and Inter-Relationship of Spaces Within the Area

The principal spaces within the conservation area are linear, focussed along the A12, and of varying widths and lengths.

Wrentham has a strong horizontal character, which is emphasised by the number of low stature buildings, including several rows of terraces. Those properties set back from the road are generally buildings with a domestic use, and those fronting the street are, or were, commercial premises. Only occasionally does a building, such as the former Town Hall, interrupt the established roof line and alter the scale and pace of the streetscape.

Modern buildings within the heart of the conservation area are relatively few, but outside the boundary the Village Hall and adjacent Factory Outlet shop both alter considerably the spatial feel and otherwise

prevalent building mass of the settlement. Further north, where London Road becomes High Street, the buildings either side of the road are located close to the pavement, creating a narrow 'pinch point' to the north of the 'Five Cross Ways' junction.

The scale and classification of buildings to the side roads is predominantly residential, and the majority are low in stature. Priory Road retains the feeling of openness and rural calm by having a decreased density of buildings and increased areas of open space. The collection of good quality farm buildings to the west end of the road further emphasises the agricultural character of the lane. However, by comparison Chapel Road and Southwold Road feel like relatively busy thoroughfares.

To the east side of the High Street (opposite the former Town Hall) are two open areas comprising of private car parking and garden, set behind a timber palisade fence.

To the northern end of the conservation area are several important green spaces; to the west of the A12 (between High Street and Priory Road) exists a meadow; to the east is an area of dense woodland and scrub, and to the north is the start of the Benacre estate.

There are no public squares within the conservation area.

There are no public footpaths within the existing conservation area.

There is one public footpath within the proposed extensions to the conservation area; on Priory Road, to the east of Priory Farm. The footpath runs to the north, and initially has a bound gravel surface (where



Fig 15. Part View of the 'Five Cross Ways' junction, looking west



Fig 16. Grade II listed cottages at No's 4-6, Chapel Road



Fig 17. View of High Street, looking north

the footpath is shared with the drive access to the farmhouse). Beyond this point the surface becomes a compacted soil and grass track. To the south and east, views across fields towards Priory Road can be seen. To the north the footpath affords views over fields and towards wooded areas. This area is believed to be part of the documented deer park associated with the demolished Wrentham Hall.

Key Views and Vistas

Being a ribbon development of fairly high building density, the majority of the key views relate to vistas along the road networks, or towards landmark buildings.

There are important long views to the south and north, through the conservation area, with the former Town Hall and No.4 High Street being the main focus of the vista from the south, and with Prospect Cottage being the dominant visible mass when entering the area from the north.

Elsewhere along the A12, particularly at the point where London Road meets the High Street, the density of buildings means that long views are largely restricted.

When approaching the 'Five Cross Ways' junction from west, No.2 High Street, and No's 1 to 9 Southwold Road are particularly prominent, due primarily to their location and elevated position. From Mill Lane, No. 2 London Road, and the start of Chapel Lane is particularly apparent, whereas views down Southwold Road are initially slightly restricted due to the gradient and direction of the road.

On leaving the village, the South Lodge to Benacre Park effectively marks the north boundary of the area and exists as a high quality focal point.

When looking west along Priory Road there are interesting views towards an eclectic range of listed buildings of varying dates and types, and to the eastern end of the road, the dominant mass of the 3 storey 'Benacre estate' house can be seen.

The first part of Chapel Road (leading from the A12 towards the United Reformed Church) is a long and varied vista, comprising listed and unlisted buildings of varying dates, scales and use.

Glimpsed views can be had between buildings, and these generally afford shorter vistas towards other properties, or over roof tops towards green spaces outside the conservation area.

The density of buildings to the east of the A12 means that vistas are restricted to what can be seen between properties.

Architectural and Historic Qualities of the Buildings, and their contribution to the area

Wrentham is a bustling area that retains a strong commercial character. Although there are fewer commercial premises than has been shown to exist in 1904 and 1954, those shops which have disappeared, but retain their frontage, contribute important character and variety to the streetscape. Of particular note is the mid nineteenth century shop frontage at No. 2 High Street (listed Grade II) or the unusual early twentieth century stuccoed front showroom range to Boggis Electrical at No. 26 High Street (see local list).

The majority of domestic properties within the conservation area were built

conforming to the local vernacular; namely two storey in height and constructed of red clay bricks, laid predominantly in Flemish bond, with either red or black glazed pan tile roof coverings.

The conservation area retains a number of attractive and well preserved cottages built, at varying periods, by the Benacre estate. Stylistically, the estate houses are neo-Georgian in appearance, with most retaining their fine un-horned sash windows. Of particular note and quality are No's. 22 and 24 High Street.

The village contains a few examples of sizeable detached late eighteenth century / early nineteenth century houses. The design quality of buildings such as The Limes, High Street, and Priory Farmhouse, Priory Road (although the latter is outside the conservation area boundary) add an important architectural layer and beneficial aesthetic to the conservation area.

Few buildings possess high levels of ornament, although the notable exceptions are the former Town Hall, the former Spread Eagle Hotel, Boggis Electrical and the former Primitive Methodist Chapel, all grouped within close proximity on the High Street.

Many of the simpler shops and houses retain good quality joinery which adds to their individual and group value, and is an important element that should be preserved. Of particular merit are the 3 doorcases to No's 60, 62 and 64 High Street, which appear to be seventeenth century in date, and were reputedly acquired in 1810 from the demolition sale of Wrentham Hall.



Fig 18. Example of one of the three seventeenth century timber doorcases at 60-63 High Street



Fig 19. Detail of stone carving to the former Town Hall, High Street



Fig 20. Architectural detail at the former Spread Eagle Hotel, High Street

Set out in appendix 2 is a detailed description of all unlisted buildings considered to make a positive contribution to the appearance of the conservation area. The full list description of all statutorily listed buildings appears in appendix 1.

Note that descriptions of buildings given in this appraisal are generally limited to architectural character as seen from the public domain.

The Public Realm

With the exception of The Lane, all other roads within Wrentham have a tarmac finish. The Lane remains un-adopted and has a compacted stone surface.

Pavements are of tarmac finish with concrete kerb stones. To the northern end of the conservation area some of the pavements have grassed verges to the side, and other areas to the east of the High Street have narrowed sections allowing off road car parking.

There exists a designated car park area to the south of 'Five Cross Ways' junction, between Southwold Road and London Road. To the perimeter of the car park are raised planting beds with brick soldier course surrounds set within areas of cobble paving.

To the junction of Southwold Road and Mill Lane are two short areas of raised profile concrete paving slabs. This paving surface is also to be found on either side of High Street by the traffic light crossing.

Immediately in front of No. 2 High Street is an area of short stay / delivery off road parking, with a raised section of traffic calming road, surfaced with brick pavers. Although this area is largely obscured from the main street by low level planting, the range of signage and mix of surface finishes

makes for a visually fussy area.

The painted white “30” speed limit signs on the carriageway clearly have a beneficial role, although thought should be given to replacing these (if compatible with vehicular and pedestrian safety) with a sign and different road surface, which would indicate clearly the built up area, as well as providing a visual link for the converging roads at the ‘Five Cross Ways’ junction.

Priory Road has no pavement, but instead has grass verges next to the road surface. This greatly enhances the simple vernacular character of the lane.

Wrentham possesses a high quantity of street furniture. Most is inoffensive and useful. There are several well placed benches and an unobtrusive bus shelter. However, either side of the shelter are two plastic rubbish bins, demonstrating an excessive number serving the car park area.

Street lighting appears to be logically sited, particularly along the A12, although the posts are of mixed design which detracts from the coherency of the area. The side roads within Wrentham also have street lighting, including Priory Road, where it feels out of place.

Along the A12 the majority of cables have been undergrounded. However, they are above ground to many of the side roads, including The Lane, Chapel Road, Southwold Road, Mill Lane and Priory Road.

Wrentham has a considerable quantity of direction and information signage. On entering the southern end of the

conservation area there is a collection of a street lamp, a large road sign, a tourist sign, a warning sign and two redundant signpost poles. To the northern end of the conservation area is a flashing 30mph speed reduction sign. To the centre of the village (opposite the former Town Hall) is a grouping of street furniture, including a timber bench, a street lamp, an illuminated road sign, a tourist sign, a waste bin and a parking restriction sign and post.

The area does not contain a particularly high number of prominent trees, but of note are the collection to the raised grass bank between London Road and Walker Gardens. Between the former Spread Eagle Hotel and No’s 27 and 29 High Street are a line of seven mature lime trees, which add height and texture to the area. To the northern end of High Street, before the junction with Priory Road, are a collection of younger trees lining the road.

Heritage Assets

The conservation area contains no scheduled ancient monuments, but contains 27 Grade II listed buildings (see appendix 1).

This study identifies a number of unlisted structures that make a contribution to the conservation area, and this forms the proposed ‘local list’. There are around 46 such structures, some of which consist of a number of individual properties which are identified within this document, including 10 structures in the proposed extensions to the conservation area (see appendix 2).

In general, Wrentham is reasonably well maintained and contains an eclectic mix of building types and dates. Most properties



Fig 21. K6 telephone box to the car parking area near the 'Five Cross Ways' junction

are cared for and occupied, although a considerable number have suffered a loss of character through the installation of unsympathetic uPVC windows and enclosed single storey porch additions.

The number of empty buildings is fairly low and largely confined to outbuildings and commercial premises.

Additional Assets

- K6 telephone box to car parking area between Southwold Road and London Road.

The Contribution Made to the Character of the Conservation Area by Green Spaces; and its Biodiversity Value

The key green spaces have previously been discussed. However, it is worth noting the positive contribution private gardens make to the conservation area, particularly in softening and enhancing the built environment. Of particular note is the garden to No. 18 London Road.

No's 27 and 29 High Street also have large areas of garden. A further pair of cottages formerly stood on this site, but since demolition during the 1950's, the plot now forms the garden to the remaining property. This area provides an important pocket of vegetation within the conservation area, and every effort to maintain this open space should be taken.

To the east of the conservation area is the Suffolk Coasts and Heaths Area of Outstanding Natural Beauty (AONB).

To the north of the conservation area, and to the east of the A12, is Benacre Hall and park. The parkland is described as having been

created during the 1750's, after the acquisition of the property by Thomas Gooch. In the early nineteenth century the park was extended to the west following a road closure order. The park is predominantly of mid nineteenth century appearance and structure, with large areas of grass and a number of fine oak trees.

The Extent of Intrusion or Damage

Generally, Wrentham has suffered, in common with many towns and villages, from the widespread loss of original doors and windows in favour of replacement uPVC double glazing. Fortunately, those properties affected by this alteration have generally not had their actual openings enlarged, and therefore, while the loss of historic elements is regrettable (particularly to terraces, where the building ceases to read as a coherent whole) the process is reversible.

More specifically, although outside the conservation area, there exist two buildings that detract from the character and feel of Wrentham, namely the Factory Outlet shop, and the Village Hall, both situated on London Road. While the village hall is a more thoughtfully designed and positioned building than the industrial appearance of the retail shop, the uniting problem with both structures is the inappropriateness of their scale. Their close proximity to the 'Five Cross Ways' junction, at the centre of the conservation area, has greatly altered the feel of the locality. It would be beneficial to the character of the area if any future development, either within or in close proximity to the conservation area could follow the established height, materials and styles employed elsewhere.

The area of paving and parking outside No.2 High Street makes a negative contribution to the area and setting of a

Grade II listed building.

There exists in Wrentham a widespread use of street furniture, and it is this close grouping, together with superfluous or redundant items such as sign posts without a sign, that also degrades the character of the area.

The Existence of Neutral Areas

The area of car parking between Southwold Road and London Road is, in terms of aesthetics, a neutral area.

A section of close boarded timber fence to the west of High Street currently obscures from sight the meadow area behind. Changing this to post and rail fencing would make a neutral area into a positive contribution by affording wider views of a green space for those living in, and travelling through, the conservation area.

The area of grass bank verge to the east of the High Street (opposite the Town Hall) could be enhanced to provide a more positive contribution to the area.

There are examples of relatively modern infill housing on the High Street, and the simple design and limited palate of building materials means the properties sit quietly in their surroundings, making neither a positive nor negative contribution to the area.

General Condition

Only a few buildings in Wrentham are empty, and generally gardens and boundaries are in good order. The exceptions do not detract too significantly from the overall quality or appearance of the village.



Fig 22. Example of replacement UPVC windows



Fig 23. Example of local red clay Brickwork and roof tiles



Fig 24. Example of sash window and Black glazed pan tiled roof

building, that require attention before being classified as existing in good repair.

Problems, Pressures and Capacity for Change

Paradoxically, Wrentham's biggest problem is also the aspect that ensures the survival of its commercial character, namely the A12. However, a more sensitive approach to the use of street furniture, road surfaces and markings could be considered.

A further serious problem is the on-going threat of original doors and windows being replaced with uPVC units. While the installation of double glazing has thermal and noise advantages (the latter being an important factor for properties along the A12), the material and design of replacement doors and windows should closely follow what exists. Consequently, the conservation area would benefit from the imposition of an article 4(2) direction, which would also bring it into line with the majority of conservation areas within Waveney district.

Article 4(2) directions make further restrictions on permitted development rights to residential properties in conservation areas. Once imposed on an area, planning permission is required to make any change of design or material to any part of the property facing a public thoroughfare. The planning application is free.

Prevalent and traditional building materials and details

- Suffolk soft red bricks, laid in the following bonds:
Flemish, occasionally with queen closers.
English bond.
Monk bond

Listed buildings are in good order, although there are ancillary structures, occasionally within the curtilage of a listed building. The village is a well established community assets, largely lacking from numerous neighbouring villages, and their presence makes a very positive contribution in terms of character, amenity and economy.

- Suffolk white bricks.
- Projecting dentilled brick eaves courses.
- Brick tumble details to eaves parapets.
- Render, typically painted.
- Black glazed, and red clay pantiles.
- Occasional use of Welsh slate.
- Cobble and red brick garden walls
- Traditional timber vertical sliding sash windows with 6 or more panes per sash.
- Early ‘pintle’ windows with timber frames and metal opening casements hung on pintle hinges.
- Timber doorcases.
- Door hoods on sturdy moulded brackets
- Timber shopfronts.
- Horizontal timber weatherboarding, typically painted, or black stained.

The village possesses several high quality listed buildings, and a number of relatively little altered unlisted properties.

Perhaps the most important contribution to the built environment has been made by the Benacre estate, which has not only enriched the area by providing numerous cottages in the village, but which maintains these properties to a high order. It is the collective value of little altered buildings, whether small or large, commercial or domestic, that adds most significantly to the character and quality of the conservation area.

Summary

Positive aspects / strengths

The aspects of the conservation area that give it character and make it a place worth preserving are its:

- Historic significance
- Architectural quality
- Open green space and trees
- Views

As a result of the busy A12, Wrentham retains a number of shops including food outlets, Public Houses, a Post Office and general store. The Public Houses and Post Office / General Store are important

Negative aspects / weaknesses

There are two identifiable elements that make a negative contribution to the conservation area, namely:

- The prevalence of poorly designed replacement doors and windows, often in uPVC.
- The existence of extraneous and often poorly sited street furniture.

By implementing an article 4 (2) direction on Wrentham conservation area, the ongoing degradation of character could be halted or even reversed.

By giving more thought to the quality and



Fig 25. Detail of timber porch to 'Broadways', No.4, High



Fig 26. Detail of vernacular Architecture at No.15,High Street



Fig 27. Detail of cottage, No.50, High Street

Community involvement

The draft document was distributed for stakeholder consultation. External consultees included the Secretary of State, English Heritage, Suffolk County Council, Wrentham Parish Council, etc. (A full list of consultees is available from the Design & Conservation Department on request).

Additionally, a public exhibition was held on 27th January 2011, at Wrentham Village Hall, where residents were asked to give their written views.

Comments were generally positive. Several highways and parking issues were identified. Concern was expressed over the proposal to designate the garden of no. 4 Southwold Rd. as an important green space. Open space at Dyer Terrace was suggested for inclusion.

All comments received were considered by both consultants and officers and, where appropriate, management proposals modified to incorporate suggestions. These are incorporated in the Wrentham Conservation Area Management Plan, which is available as a stand-alone document on the Waveney District Council website.

Full details of comments received during the consultation process, and how these were dealt with, is available from the Waveney District Council Design & Conservation Department.

Local Generic Guidance

Guidance is contained in Waveney District Council's 'A guide for owners and occupiers of properties in conservation areas' and 'A guide for owners and occupiers of listed buildings'. See also the Waveney District Council Core Strategy 2009, and in particular policies CS01, CS02, CS11 and CS17; also Development Management Policies 2011, policies DM30 and DM31.

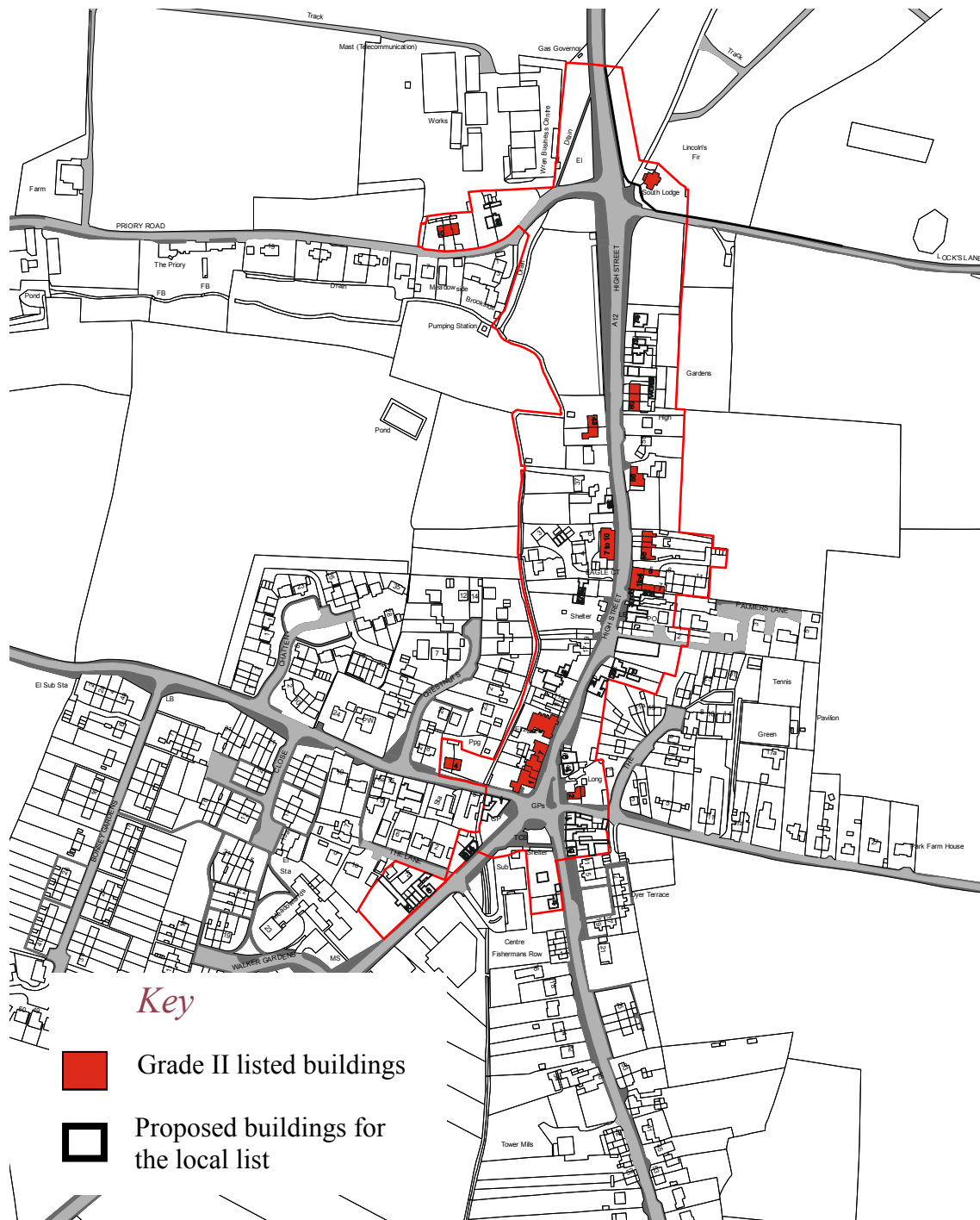


Fig. 28. Map showing Grade II listed structures, and proposed locally listed structures in the existing conservation area.

Appendix 1:

List descriptions of Properties within the Conservation Area.

All are listed at GII

Chapel Road

Nos. 4 & 6 Chapel Road

Pair of cottages. C19 facade to earlier, probably C17 core. Originally timber framed, now cased or rebuilt in red brick, with pebbledash render to the gable ends. Thatched roof. One and a half storeys. Symmetrical facade, each cottage with 2 2-light C19 windows under segmental arches and a boarded and battened door between. 2 eyebrow dormers. Central internal stack.

High Street (East Side)

No. 2 High Street

House with former shop, now a restaurant. C18 with mid C19 shop front facing High Street. Colourwashed brick, glazed black pantiles. 2 storeys and attic. The house faces Mill Lane: 3 windows, large-paned mullion and transom casements, mainly of C20; segmental arches; doorway now replaced by a window. Brick dentil eaves cornice. Heavy central internal stack. High Street wing is single storey and attic, with 2 catslide dormers. Canted double-bay shopfront with panelled plinth; 9-pane windows framed by narrow pilasters, with continuous fascia and cornice; mid C20 glazed double doors and rectangular fanlight. Included for group value.

No. 40 - 44 High Street

Shop and bank with maisonette. Mid C19. Pale yellow brick, roof of mid C20 slates.

2 storeys. Symmetrical 3-bay facade, the bays divided by paired brick pilasters; the extreme outer and inner pilasters are set slightly forward. The outer pilasters are continued above eaves level as short pedestals, surmounted by stone urns. Inset sash windows with glazing bars, flat lintols; 3-light centre window. Unaltered original double-bay shopfront: large panes with semi-circular arched heads, splayed to the recessed central doorway; three-quarter glazed double doors in matching style with rectangular panel over; modillion cornice. Gable end stacks. The left hand gable end is pilastered and has a brick band at eaves level.

Nos. 46-54 High Street

Row of 5 cottages. Late C18. Red brick, glazed black pantiles. 2 storeys. 5 windows, sashes with glazing bars in flush frames under segmental arches. 5 mid C20 doors. Brick dentil eaves cornice. 2 internal stacks and one to the left hand gable end. Included for group value.

No.56 (The Limes) High Street

C18. L shape plan. Colourwashed brick, hipped plaintiled roof (pantiled at rear). 2 storeys. 3 windows, slightly inset sashes with glazing bars, flat brick arches to first floor, no arches on ground floor. Central doorway with inset C19 4-panel door (the upper panels glazed), eared architrave, frieze and modillion cornice. Moulded brick eaves cornice. 3-bay garden front on right with a lean-to conservatory. White brick stack with a recessed panel in each face.

No.60 (Beech Tree Cottage), - No.62 and No.64

Row of 3 cottages. Early C19, reputedly with an earlier core. Red brick, the facade

with finely-detailed carved Gothic ornament and cornice. No.60 was once a shop, the shop window now removed; C19 paired panelled doors, pilasters, enriched frieze and cornice.

South Lodge, High Street.

Lodge to Benacre Hall. Early-mid C19. Pale yellow brick, slated roof. Single storey. Symmetrical, with a front range facing the drive and 2 attached wings set back. 5-bay facade, 1:3:1, the bays divided by brick pilasters; the centre bays have a prostyle pedimented portico on 4 heavy stucco columns. Inset sash windows with slender glazing bars and raised wooden surrounds. 6-panel entrance door. Internal stack to front range and external stacks to rear wings.

High Street (West Side)

Nos.1, 3 & 5 (formerly listed as Belfast House including shop premises facing Church Street).

3 Houses. C18-C19 with considerable mid C20 alterations. Brick: No.3 is colour-washed, the remainder stuccoed, the Chapel Street facade lined in imitation of ashlar. Roof of black pantiles, some glazed. 2 storeys with attic to No.1. Scattered fenestration to High Street: sashes to No.3, mid C20 large-paned casements to No.5. Nos. 3 and 5 have early C19 shop fronts, originally matching: semi-circular pilasters with horizontal ring ornament, corner roundels to doorway; frieze with reeding and a band of fluting, modillion cornice; No.3 has a small-paned shop window and half-glazed door, No.5 is altered with a mid C20 shop window and doorway. No.1 faces Chapel Street: 3 windows, sashes with glazing bars in flush frames, moulded architraves; the ground floor windows are mid C20 casements. Mid C20 porch with French windows. 2 gabled dormers. Set forward to the

left is a mid C19 single storey shop: 3-centre arched lights, pilasters, fascia and cornice on console brackets.

No.7 & 7a (The Old Reading Room) High Street.

Former parish reading room, now a shop. 1858. Red brick, with rusticated painted stone quoins and window and door surrounds. Slated roof with crest tiles. One and a half storeys with one storey parapeted wing to left. The main block has 2 windows, heavy ovolo-moulded 4-light mullion and transom stone casements in C16-C17 style; above are cornices formed by 4over-sailing courses of brickwork. To the left is a further window in similar style but of wood, and a doorway with moulded semi-circular arch and mid C20 doors. Parapet gable ends.

Wrentham Town Hall, High Street

Public hall. 1862. Principally red brick; some decorative work in black and white brick; stone quoins; slated roof. In a gothic style. The road façade has a gable with flanking square turrets set slightly forward, terminating in steep pyramidal tiled roofs. Large 5-light window in perpendicular style; above the window are the words 'Wrentham Hall' and, above that, a clock projecting from the wall. There was originally a clock within the adjacent canopied panel: the alteration of the clock in 1897 is commemorated by an inscription below the main window. Set slightly back to the left and right are lower gabled entrance porches.

Spread Eagle Hotel

Former coaching inn, now a hotel. C18 front range with C19 additions and re-modelling. Colourwashed brick with moulded brick eaves cornice; hipped roof of glazed black pantiles. 2 storeys and attic. 4-bay facade: to the left is the earlier block which is symmetrical, with narrow inset sash windows to the first floor and tripartite sashes to the ground floor; flat brick arches; doorway with 4-panel door, rectangular fanlight and side lights. One-bay early C19 addition to right with matching tripartite sash windows. On the extreme right is a slightly lower entrance addition: 4-panel door (the upper panels glazed), semi-circular fanlight with radiating glazing bars, moulded surround to arch with raised key; shaped parapet gable surmounted by a stone eagle. The range behind the C18 block has a tall ogee gable which appears to be a later addition.

No.41 & No.43 (Mistletoe Cottage)

2 houses. No.41 is dated 1762 over the doorway; the right hand bay of No.43 is early C19. Red brick, pantiled roof. 2 storeys and attic. 4 windows, sashes with glazing bars in flush frames, flat brick arches; the bays of the older part are separated by brick pilasters. No.41 has a wide doorway with a 9-panel door in 3 parts, No.43 a 6-panel door; each doorway has a reeded surround with corner squares, a frieze and projecting modillion cornice. Internal stacks.

Priory Road (north side)

No's 6—10 Priory Road

3 cottages. C17 core, the left hand end (No.10) a late C18 addition; C19 work at rear. Timber framed core, now largely rebuilt in red brick Pantiled roof. 2 storeys and attic. The older part has a 3-cell form. 4 windows, mainly C18-C19 3-light casements with a single horizontal glazing bar to each light; flat brick arches. 6-panel raised and fielded door to No.6, oak plank door to No.8, mid C20 door to No.10. Brick dentil eaves cornice. 2 internal stacks. Nos. 6 and 8 have some exposed C17 joists and framing and over the fireplaces there are original lintels with barred stop chamfers.



Fig 29. No. 10 Priory Road



Fig 30. Former Spread Eagle Hotel.

Appendix 2:

Descriptions of structures and landscapes that make a positive contribution to the conservation area (Local List)

Note: this list may not be exhaustive, and descriptions of buildings are necessarily limited to architectural character as seen from the public domain. Any structure which form part of the curtilage of a building on the statutory list has been excluded from assessment as, if pre 1948, it is already afforded protection by its curtilage-listed status.

Chapel Road, odds (S side of road).

No. 3.

Mid C19 outbuilding attached to No.2 London Road (“Stephanie’s Café, see below). Single storey, with red clay pan tile roof. Rendered elevations. Modern timber door and modern window to N gable end fronting Chapel Road. Included for group value.

High Street, odds (W side of road).

No. 15.

Early C19 two storey building with attached single storey coach house to the N. Set back from the road behind a low timber post and rail fence, with brick paved parking area immediately to the front of the property. Red brick elevations,

laid in Flemish bond, with a single storey cat slide projection to the W rear elevation. The front façade is of 3 bays width, with a central door flanked by 12 pane casement window to the N and an 8 pane casement window to the S. To the first floor is a short boarded timber door. The building has a red clay pan tile roof over, with single brick chimney stack to the N end. To the N gable is an attached single storey structure, with cat-slide roof hidden behind a stepped parapet. To the E elevation is a filled in cart opening. The property is a remarkably little-altered example of a vernacular building.

15a. Former Primitive Methodist Chapel.

Date stone of 1841. Gault brick elevations, laid in Flemish bond. Two storey manse building set back from principal elevation to the S. It is possible that the manse building is the original structure, with the chapel frontage being added in the 1840’s. The property sits under shallow pitched slate tiled roof, with a short red brick chimney stack demarcating the division between the chapel and the manse.

The chapel has an advanced centrally located single storey gault brick porch with expressed projecting corners and stone cappings. To the centre is a stone capped gablet over the main entrance. The four-centered entrance arch is framed by gauged red clay brickwork, with a stone block course at the springing point, with 2no courses of red bricks below. Immediately behind the porch exists a full height stained glass gothic window, flanked by shorter and narrower windows of the same design (these windows have stained glass to the upper sections only, with clear leaded glass below).



Fig 31. No.3, Chapel Road, outbuilding



Fig 32. No. 15, High Street



Fig 33. No.15a , High Street



Fig 34. No's 29 and 29, High Street

The contrasting red brick gauged surround to this and the flanking windows, repeats the detail over the entrance porch opening.

The 2 bay wide manse building to the S is set back from the main façade. Of gault brick construction laid in Flemish bond, the bricks appear to be of lesser quality and possibly differing (earlier?) age. The ground floor window has a gauged brick lintel over. A modern projecting timber porch on brick plinth base exists to the S end of the elevation. The manse does not retain the original windows.

No's 27 and 29.

Former pair of storey-and-a-half, early C19 cottages, now a single dwelling. Set back from main streetscape, behind a good, low brick wall to the E (which returns to the N, separating this property from the former Spread Eagle Hotel). The boundary wall is of red brick construction, laid to Flemish bond, with an ogee profiled brick capping. Immediately behind the wall, and in front of the cottages, are generous areas of lawn (apparently where a further row of cottages once stood). The property is of red brick construction laid in Flemish bond. Steeply pitched black glazed pan tile roof with gable end brick upstand parapet. 4no projecting dormer windows with cat-slide roofs set to extreme ends. 3no brick chimney stacks to the S end, centre and N end of the property. Projecting brick dentil detail eaves course. A single storey brick built porch exists to No. 27 (No. 29 has possibly had a porch and doorway removed, as there is some evidence of brick scaring, although this cannot be fully ascertained from the public highway). Ground floor openings have gauged brick arches over replacement timber windows. 7no mature Lime trees exist to the N boundary between No. 29 and Eagle Court. Cottages are included as relatively unaltered examples of simple vernacular design.

Cart Stores to the NW of Eagle Court.

Early C19 two storey cart store associated with the former Spread Eagle Hotel. 3 bays wide with 3no cart store openings to the ground floor, and 2no 2 pane wide windows over both end openings. Red clay brickwork laid in Flemish bond with projecting dentil eaves course brick detail. Red clay pan tile pitched roof over. The single storey modern addition to the north is not included as part of the listing. The cart store is included for group value with the Grade II listed former Spread Eagle Hotel.

No. 33.

Late C18, 2 storey and an attic, red brick dwelling with attached range of outbuildings to the N. The E elevations of the house and outbuildings are rendered. Steeply pitched red clay pan tiled roof with central red brick chimney stack (upper courses of the stack appear to have been rebuilt). Brick upstand parapet to E and W gables supported on corbelled brick kneelers. Gauged brick arches over ground floor windows. Heads of first floor windows interrupt projecting brick eaves course. Replacement door and windows. 2 bay wide attached single storey outbuilding range to the N, rendered, with pitched red clay pan tile roof covering, with short red brick chimney stack to N gable end. To the N is a further attached single storey outbuilding with mono-pitch roof behind a parapet upstand. To the S, the property sits behind a low red brick monk bond wall with associated half-round brick capping. Attractive C19 iron gate and posts between wall and main house. The detached outbuildings to the W and NW are also included, though have not been fully inspected. The property and associated outbuildings are included due to having a relatively unaltered character in a prominent location - the north facing cat-slide roof over the main house is particularly noticeable when driving S through the village.

High Street, evens (E side of road).

No. 4 'Broadways'.

Double fronted, 2 storey early to mid C19 former commercial premises and residential accommodation. The property is set back from the main road behind a dwarf Flemish bond wall with C19 painted iron railings. Black glazed pan tile roof, with 2no red brick chimney stacks to each gable end. Red brick elevations laid in Flemish bond, with stone lintels having central 'key stone' detail over all openings. The property retains the original 6/6 un-horned sash windows. To the centre of the entrance elevation is a part glazed entrance door with timber door case. To the front of the property is an open sided single storey timber porch canopy running across the entire elevation, of 3 bays in design with arched braces springing from the vertical posts. The two central posts project beyond the lead capped flat roof to form the uprights supporting the name of the property. Note: the timber canopy is of uncertain age, and is believed to have been added c1930. The detached outbuilding to the E of the property is also included, though has not been fully inspected. The property is a little altered building, retaining original fenestration, in a prominent central village location.

No. 6.

Single storey commercial premises, attached to the N side of No.4. Red brick Flemish bond plinth, with timber 3 bay wide glazed shop front over. Each bay of 3/3 pane arrangement. The shop front retains a timber framed canopy on iron folding brackets. Note: coach house to rear has been altered and is not included as part of the Local List. No. 6 is included as a good and unaltered example of a shop front in a prominent location.



Fig 35. Former Cart Stores to the NW of Eagle Court



Fig 36. No. 33, High Street



Fig 37. No.4 'Broadways', High Street



Fig 38. No. 6, High Street

No. 18 and No. 20.

Early to mid C19, two storey. Gault brickwork laid in Flemish bond, with gauged brick arches over all window openings to entrance elevation. Formerly two properties (a dwelling to the left hand side, and a saddle makers premises to the right). The shop frontage has been removed and the whole property converted to a single, double fronted, dwelling - hence considerable scaring to brickwork at ground floor level. Return gable elevations are constructed of red brick. The roof covering is not discernable from street level. A pair of chimney stacks exist to each gable end. Centrally located entrance accessed directly off street via 2no steps up. Door has a projecting brick surround, with corbelled brackets and central 'key stone' detail. Majority of windows are un-horned 3/3 sash windows, (with the exceptions of the right hand ground floor window, which is horned, 3/3 panes, and the first floor central window, which is un-horned, 2/2 panes. Outbuilding to the rear of No. 18 could not be inspected from the public highway. Set back and attached to the N of No. 20 is a single storey red brick outbuilding, with modern concrete tile roof. The modern attached outbuilding to the E is not included in the local list.

No. 22 and 24.

Pair of 2 storey mid C19 'Benacre Estate' cottages. Set back from road behind dwarf close boarded timber fences. 4 bays wide, with entrances grouped to the centre. Red brick Flemish bond elevations over matching raised brick plinth. Black glazed pan tile roof covering, with 1no chimney stack to each gable end. 1no blind window to the first floor, set centrally directly over the entrance doors. All other windows have concrete lintels and projecting cills, with 8/8 pane horned sash windows. To both the N and S end gables are single storey additions, circa mid to late C19,

with castellated parapet and sides hiding an assumed mono-pitch roof. The windows to the side additions repeat those to the main houses; being 8/8 pane horned sash windows. Note: the outbuildings to the rear of both properties have not been fully inspected but are included as part of the listing. The houses are little altered examples of estate cottages, in prominent village location.

No. 26.

Boggis Electrical (unoccupied at the time of survey). Formerly Wrentham Garage. Early to mid C20. 2 storey, 3 bay wide rendered frontage onto red brick premises behind. Full height corner 'pilasters' with expressed square moulding detail at first floor height, which is repeated at roof level. Roof hidden behind a parapet with a raised central section. The front of the building appears to retain the original fenestration. Note the front showroom range only is included; the premises behind appear to be of several phases, greatly altered, and of little historical or architectural interest. The property is included as an unusual example of commercial premises, prominently situated, within the Conservation Area.

No. 32 to 34.

No. 32, 'Wrentham Stores'.

Early C19. 2 storey in height, and 2 bays width. Commercial premises with residential accommodation over. Gault brick elevations, laid to Flemish bond. The ground floor is predominantly shop frontage, although to the right hand side part of this has been removed and infilled with gault brick. The shop frontage is timber, and of a mix of dates and styles. The timbers either side of the door and to the centre of the frontage are perhaps original. 2no replacement UPVC windows to

the first floor, although the structural openings and incised stone heads are original. The slate roof covering sits partially obscured behind a projecting eaves course and raised brick parapet. The property has lost its brick chimneystack.

No. 34. The materials and form is as per No. 32, except to the ground floor there exists a single storey canted bay, with original horned sash windows. To the first floor the window directly above the bay is a replacement, although the stone head matches the example adjacent and further examples at No. 32. The window directly over the entrance to this property and the shop premises next door is blind. The roof covering and parapet is as per No. 32 except that No. 34 retains its gault brick chimney stack to the N end of the roof. These two properties are included for group value with No's 28, 30, 36, 38 and the Bank Mews.

Post box outside No. 32.

Mid C20 'EIIR' Royal Mail post box. Included as good example of street furniture.

No. 36 to 38.

Pair of 2 storey mid terrace cottages, set back from flanking properties. Early to mid C19, gault brick elevations in Flemish bond. No 36 has a modern concrete tile roof, with brick built chimney stack to the S end (the stack backs on to the stack serving No. 34). Ground floor brickwork is of a different period, and is infill where a shop frontage has been removed. Pair of squat 6/6 pane un-horned sash windows set beneath painted stone lintel, with corresponding sash window to the ground floor. To the left of the ground floor opening is the main entrance, set within a timber surround of slender attached pilaster columns. Timber door surround has 9 pane



Fig 39. No's 18 to 20, High Street



Fig 40. No's 22 and 24, High Street



Fig 41. No.26 'Boggis Electrical', High Street



Fig 42. No's 32 to 34, High Street

glazed light over, with coloured glass to each corner. Modern front door. To the left of the entrance is a pair of timber doors with 7no gothic arch panels.

No.38 retains what appears to be the original slate roof covering, and has a shared chimney stack to the N end (shared with No. 40). 2 no squat 6/6 pane un-horned sash windows set beneath painted stone lintels. Door arrangement similar to No. 36, but lacking second pilaster to the left hand side. Modern front door. Large projecting single storey ground floor timber shop front, with canted right hand side; joinery appears to be modern. Good quality early C19 iron boot scraper with scrolled sides in front of door. Buildings included for their relatively unaltered character, adjacent to the attached, listed, Banks Mews next door.

Outbuildings to the E of No. 60 to 64.

(Note: No's 60 to 64 are Grade II listed). Two storey, red brick outbuildings, set back from the road and accessed via private track between No. 64 and No. 66. The original use of this building is unclear. Red clay Flemish bond brick, 1 bay unpainted, the rest presumably painted. Red clay pan tile roof. Appears to be of 3 bays width, with large cart type openings to the ground floor (these have been altered to accept steel garage doors, with modern header course brick lintels over). To the first floor, 3no smaller window openings are set centrally over the ground floor openings. These outbuildings are only partially visible from the public highway.

No. 66, 'Prospect Cottage'.

Built 1866. Substantial 3 storey detached dwelling of 3 bays width. The property sits

back from the main streetscape, behind a low red brick Flemish bond wall, with shallow hogs back capping. Painted timber hand gate set within wall to the right hand side. Slate pitched roof, with centrally set red and gault brick chimney stack. Front elevation of dwelling constructed predominantly of gault brick, with red brick gauged arches and quoined surrounds to door and window openings. Projecting red brick blocking course to first floor and attic storey height. Stone tablet to apex of roof contains the name and date of property. 2/2 pane vertically divided timber sash windows, although those to the ground floor and first floor are sympathetic replacements, whereas the attic window appears to be original. Replacement front door. The side elevations are constructed of red clay bricks. Included for being an unusual design, prominently located within a Conservation Area.

No's 68 to 72.

Possibly originally a single timber framed house (No's 70 and 72) with associated coach house accommodation (No. 68). Now 3 separate dwellings.

No. 68. Early C19 storey-and-a-half, brick built accommodation (brickwork now painted). 3 bays wide, with all openings to the ground floor under arched heads. The wider right hand opening appears to have been for carts. The pitched roof is covered with red clay pan tiles, with 2no dormer windows to the W pitch. All door and window joinery has been replaced, although this has been done sympathetically. Note: the rendered outbuildings to the rear of this property are included in the local list, but have only received a limited visual inspection from the public highway.

No. 70 and 72. Believed to be a late C18 / early C19 re-fronting of a timber framed

property. Originally two storey in height, and of five bays width. No. 70 retains the original form, whereas No. 72 has been substantially altered and raised in height. No. 70 is of two bays width, with a projecting porch located to the right side of the property, and a mid C19 sash window to the left. The 2no first floor casement windows are timber replacements. The roof covering is of red clay pan tiles, with the form and pitch following that of No. 68, albeit at a higher level. Set within the roof is a dormer window.

No.72 is of 3 bays width, and 3 storeys in height. The property has been cement rendered. The window openings appear to be the original size and location, although all windows are replacements. Note however the prominent centrally located red brick chimney stack. The roof pitch has been altered to accommodate the additional storey, although the ridge height remains the same, resulting in a lower pitch. The roof covering has also been replaced with a black pan tile covering. Note. No. 72 is included on the local list due to it being half of what is believed to have been a single timber framed dwelling, situated prominently within a conservation area.

No. 74.

Early C19 re-fronting of what appears to be an older timber framed property. Originally 2 dwellings (see 1884 OS map), now double fronted and in single occupation. Set back from main road, behind a short section of dwarf red brick wall. Main house of 3 bays width, 2 storey and an attic, with steeply pitched roof with black glazed pan tile covering. Wide, centrally located, red brick chimney stack. Main elevations of painted Flemish bond brick work, with gauged brick arches over window openings. Centrally located modern entrance door within a pedimented timber surround, supported on slender pilasters. Windows flanking the entrance are of 6/6 pane un-horned timber



Fig 43. No's 36 to 38, High Street



Fig 44. Outbuildings to the East of No's 60 -64, High Street



Fig 45. No. 66 'Prospect Cottage', High Street



Fig 46. No's 68 to 72, High Street

sashes. To the first floor are 3no windows of the same type. Dentilled projecting brick detail eaves course. Brickwork returns to the S gable elevation, which then becomes painted render, with timber casement windows to the ground and attic storey. A 2 storey cat-slide roof is evident to the rear. N elevation as S elevation, except for the painted timber boarding at first floor and attic storey height.

Benacre Hall Park

Multi-phased design landscape of post medieval origins created for the Gooch family. The park extends over substantial areas of Benacre and Wrentham parishes and falls partly within the boundaries of the Wrentham conservation area. It is bounded to the west by the A12 and to the east by two substantial plantations known as 'Home Covert' and 'Lincolns Fir' which are included within the area of designation. To the south is the Park Farm and a large lake which are not included. The northern park boundary is located adjacent to the north lodge, and is clearly shown on modern ordnance survey maps. The park gained its present form after the rebuilding of Benacre Hall in 1764.

A compartmentalised deer park surrounding the Hall is shown on an estate survey map by Thomas Barker of Holton dating from the year 1770; this is a relatively rare example of a deer park created in Suffolk during the second half of the eighteenth century. The park was greatly altered and improved between the publication of Hodkinson's map in 1783, and the year 1827 when Davy reported that 'The present possessor has done much to improve the property' (Views of the Seats of Noblemen and Gentlemen in Suffolk, London 1827). Its boundary of the park was extended slightly to the west and further improvements were made by the time of the

tithe award survey undertaken in 1840. At the edges of the park are two handsome classical lodge houses of early nineteenth century date. In the later nineteenth century further improvements were made including the building of an impressive water tower and the conversion of a dovecot into a summer house. Late nineteenth century maps show a series of clay pits around the edges of the park. Benacre Hall is now apartments and a new house designed for the Gooch family by the architect Charles Morris has recently been erected within the designed landscape. The slightly undulating parkland contains a walled garden with extensive glass houses, shrubberies, and pleasure grounds, in addition to substantial areas of woodland. The park forms the setting of a number of listed buildings including the Hall, stables, summer house, and 'South Lodge' (in Wrentham parish) other buildings are protected as curtilage structures. It is included as a relatively unaltered example of a late Georgian park which forms the setting of a number of notable listed buildings, and which also contributes positively to the character of the Wrentham conservation area.

The Lane (un-adopted).

"Colemans".

Early C19, 2 storey outbuilding. Red clay pan tile roof with gable to the SW end (not inspected) and hipped end to the NE. Red clay brick elevations laid to an inconsistent monk bond. To the ground floor of the NE elevation is a wide boarded door with brick soldier course above, with a boarded window directly over. To the SE elevation is a single doorway with arched brick soldier course lintel over.

London Road, odds (SE side of road).

Red painted cast-iron telephone box of the K6 variety first commissioned to celebrate the silver jubilee of George V in 1935. The box is in the form of a square-sectioned glazed and domed kiosk, and was designed by Sir Giles Gilbert Scott. Production of the K6 began in 1936 and was halted in 1968. Note: 1no illuminated top panel is missing.

London Road, evens (W side of road).

No. 2, and No. 1 Chapel Road ("Stephanie's Café").

Situated on the corner of Chapel Road and London Road. Café and residential accommodation. Early C19, two storey, four bay wide, with black glazed pan tile roof. Cement rendered elevations. Short brick chimney stack to the southern end of the roof (historic photographs show a second chimney stack to the N). Single storey modern porch addition with black pan tile roof covering to the E elevation. Radiused NE corner. To the S gable end is a 2 storey semi-circular bay window, with replacement window units. Attached to the W are single storey outbuildings with a mix of pitched roof with red pan tiles, and flat felted roof coverings. (see No.3 Chapel Road). Windows are predominantly uPVC, but old photographs reveal the sizes and locations to be unaltered. Note: 2no Victorian (horned, 2/2 pane) sash windows survive to the first floor and 1no (horned, 3/3 pane) sash window to the ground floor of the N end gable. This building is prominently located at the meeting point of London Road, High Street, Chapel Road, Southwold Road and Mill Lane (the area



Fig 47. No.74, High Street



Fig 48. Outbuilding, 'Colemans', The Lane



Fig 49. No.1 Chapel Road and No.2 London Road



Fig 50. No's 4 to 6, London Road

known as 'Five Cross Ways' junction). For attached single storey outbuildings, see description of No. 3, Church Street.

No's 4 – 6.

Early C19, 3 bay wide, single dwelling, formerly 3 commercial properties with associated residential accommodation. 2 storey in height, with single storey accommodation to the N end. Pitched roof covered with glazed black pan tiles, with short red brick chimney stacks to each gable end. The elevations are of soft red brick, laid to Flemish bond. Lower part of the ground floor front elevation has been rendered. The eaves course has projecting alternating dentil brick decoration. The N and S end gables have short upstand parapets, and brick tumble details at eaves height. The S gable end displays evidence of brick scarring, indicating the loss of an adjoining property. 3no horned sash windows to the first floor. The ground floor has a pilastered uPVC door case and entablature set beneath the central sash window, and this is flanked by shop front openings. To the right of the central door is a 5/3 frontage contained within a timber bracketed surround. Further right (within the single storey accommodation) is a further 5/3 shop window. To the left of the door case is a further shop frontage containing a central door (set beneath the left hand first floor sash window), which is flanked by 4/4 pane glazing. The surround is of timber, with 4 small console brackets supporting a projecting timber cornice. Despite the loss of the original shop front glazing and associated doors, the replacement UPVC units have been designed with some thought, and the commercial past of the building is still discernable.

No's 12 to 18.

No. 12, 'East Nook'. An early C19 single storey building, of former commercial use, with a pitched roof with hipped ends, and black glazed pan tile covering. To the N is a further hipped roof set at lower height, with the same roof covering (this part of the building cannot be fully seen due to the modern brick wall to the N – the wall is not included as part of the local list). Further modern lean-to attached additions to the N. The front elevation is of red brick construction laid to Flemish bond. The front elevation has 4 window openings, (replacing the former single shop frontage) with arched brick heads, and UPVC double glazed windows. To the side of each window opening is a pair of non-original decorative timber shutters.

No's 14 to 18 (attached at the S end to No.12, and set back from the street). An early C19 terrace of 5 cottages. 2 storey elevations with glazed black pan tile roof covering (the roof covering over the N end of the terrace has been changed to unglazed black pan tiles). To the N end is a brick gable, whereas to the S there exists a hipped end. Set on the ridge line towards the N end of the roof is a short red brick chimney stack. To the S is a similar stack, now rendered, set behind the ridge. The elevations are of red brick construction laid in Flemish bond. Over the door and window openings are incised stone heads, with associated projecting stone sills. The windows and doors have been replaced with UPVC units. T, although the openings are the original sizes. The S return elevation is of 3 bays width, and of materials and design corresponding to the front elevation. To the left side of the elevation is a long single

storey outbuilding, with red brick elevations and glazed pan tile roof covering (this building is not fully visible from the street). The S elevation is particularly prominent when entering the village from the S, and with the attractive associated gardens, and grouping of roofs and coverings to the NW of varying presents an eclectic vista.

Mill Lane, evens (N side of road).

Outbuildings to the E of No.1 Southwold Road.

A pair of early C19 outbuildings and short section of wall, fronting onto Mill Lane. Single storey outbuilding (attached to the rear E elevation of No.1 Southwold Road), with glazed black pan tile roof, with hipped end to the E. The elevation fronting Mill Lane is constructed of red brick, laid in monk bond, and contains a single window opening, currently boarded. The building has a dentilled brick eaves course. Between this and the second outbuilding exists a short section of red brick wall (separated from the outbuilding by a gateway to the W and a service alley to the E). The wall is constructed of soft red clay brick laid in monk bond, with a shallow projecting capping. To the E is a detached, single storey, red brick outbuilding. The gable end facing the road is constructed in Flemish bond brickwork, whereas the return elevation to the W is built of cobble with brick perimeter. The roof covering is red clay pan tiles, with 2 sections of glazed pan tile lights to the E pitch. The 2 outbuildings and short section of wall are included for group value.



Fig 51. No's 12 to 18, London Road



Fig 52. Outbuildings to the rear of No.1 Southwold Road, as seen from Mill Lane



Fig 53. No's 2 to 4, Priory Road

Priory Road, evens (N side of road).

No's 2 – 4.

Pair of 3 storey 'Benacre estate' houses. The front elevation has an inscription plaque of "T.V.S.G, 1900". The properties are of red brick construction, with stone heads over all openings with a 'chamfer swept to a point' detail. The windows to the main elevations are original, and are a mix of elegant 6/6 pane un-horned timber sashes, with 2/2 pane un-horned timber sashes to the centre. The steeply pitched roof is covered with profiled clay tiles, with a red brick chimney stack to each gable end. Over each property is a single dormer window with pitched roof, set back from the eaves. The windows to the dormers are not original. The gable ends are punctuated by 3no small timber casement windows at ground, first and attic storey. To the rear of the properties is a long range of single storey outbuildings with red brick elevations, and red clay pan tile roof over. The houses are good and substantially unaltered examples of sizeable estate buildings erected by the Benacre estate.

Southwold Road, odds (E side of road).

No's 1 – 9.

Early C19 terraced cottages, of 2 storeys, situated prominently on an elevated position at the junction of Mill Lane and Southwold Road. All cottages are set back and above street level, behind dwarf brick walls of varying dates and construction types. The cottages have red brick elevations, laid in Flemish bond, with gauged brick arches over the door and window openings to the ground floor, with the window openings to the first floor abutting the projecting dentilled brick

eaves course. The roof is pitched, with gable ends to the N and S, and is covered with black glazed pan tiles.

No.1 was formerly a shop, and has a good range of single storey outbuildings to the E (see Mill Lane, above). The brickwork to the front elevation has been painted (presumably to hide the brick infill scarring when the shop frontage was removed). Now the property is of 3 bays width, double fronted arrangement, with central blind opening to the first floor, directly above the centrally positioned ground floor entrance door. The door has a modern pitched timber canopy over. The joinery has generally been replaced, although done sympathetically. The ground floor window openings have projecting key stone detailing. Located centrally to the roof is a large brick built chimney stack, serving 4 flues, now with a variety of red and white terracotta pots.

No.3 is separated from No.1 and No.5 by a full height brick projections, visually representing pilasters without a base or capital. The roof line is set slightly higher than at No.1, taking account of the slight rise in ground level. The property has, what appears to be, an original 4 panel timber door to the left, and a single window opening to the right. The window is UPVC. To the first floor is a single window opening, set directly above the ground floor window. This again is a replacement UPVC window unit. The centrally located brick chimney stack is set behind the ridge.

No.5. This property breaks forward slightly from No's 1 and 3, and is contained by 2 projecting brick 'pilasters' (the right hand 'pilaster' being shared with No.7). The property once operated as 'The King's Head' public house. The house is 3 bays width, with a centrally located blind window to the first floor. The main entrance is set off-centre and to the right, possibly implying an alteration to the ground floor door and window arrangements (although there is no brick

scarring evidence to support this). Either side of the door are single window openings. Although the windows are not original, they likely follow the original glazing arrangement of being 8/8 pane sash windows. The gauged brick lintels over the ground floor openings have been rendered over. A pair of brick chimney stacks are positioned over each gable end.

No.7 differs in having an arched gauged brick lintel over the doorway, which is located to right of the property, with a single window opening (with straight gauged brick head) to the left. To the first floor are 2 single window openings. The door and window joinery is not original, but the replacement windows have continued the 8/8 pane sash window design. A 3 flue red brick chimney stack backs onto the stack serving No.5.

No.9. As No.7 but handed. The doors and windows are replacement UPVC examples. The right hand brick 'pilaster', which visually terminates the row, appears to have been rebuilt. A red brick chimney stack sits immediately over the S gable end. A range of contemporary single storey 'L' plan red brick outbuildings exist to the rear of No's 7 and 9. Elevations are constructed in monk bond. The pitched roof over is covered with red pan tiles.

Evens, (W side of road).

No.2.

Set back from the road, with the end gable facing the street. 2 storey building of early C19 date. 3 bays width, with centrally located door to the ground floor, flanked by window openings. The ground floor openings are tripartite sashes, with horned 2/2 pane flanking windows and 6/6 panes to the centre. A modern brick built porch with red pan tile roof obscures the original door opening. To the first floor are 2 un-horned 3/6 pane sash



Fig 54. No. 1 to 5, Southwold Road



Fig 55. No. 7, Southwold Road



Fig 56. No. 9, Southwold Road



Fig 57. No.2, Southwold Road

windows. The pitched roof is covered with red pan tiles, with a red brick stack to each gable end. The rainwater goods are cast iron, supported on projecting iron gutter brackets. The E facing gable end has evidence of a single storey pitched roof having once abutted the main house at this location. Included for group value with 'The Old Forge' and No. 4 Southwold Road (see below).

No.2 'The Old Forge'.

Early C19. 2 storey detached building, with single storey addition to the S end. Originally a forge, the building has been converted into residential accommodation. The elevations are of red brick construction, built to a variety of bonds, and apparently of two periods; with the lighter, older, red brick immediately above the flint and cobble panels, and darker, slightly later, red brickwork above. The lower section of brickwork immediately over the cobble panels (the panel facing the road has been re-pointed) is built initially in English bond, which after a couple of courses becomes Flemish bond. Above this, the bond is generally Flemish bond, albeit with Queen closers and the occasional double header. The elevation facing the road has 3no iron tie beam plates set just below the change in brick type. The building has a pitched roof over, which is covered with red clay pan tiles.

No. 4.

An early to mid C19, double pile, 3 bay wide, double pile, 2 storey detached cottage. The property is set back from the road behind a short garden, with a mix of modern brick dwarf wall and mature hedge to the boundary. The roof is covered with red clay pan tiles, and each of the 4no gable ends (except the rear right hand gable) is set with a short red brick stack. The entrance elevation has a centrally located timber door, flanked by window openings. The ground floor windows

are set beneath arched brick heads, and retain the 2/2 pane horned sash windows. To the first floor are 2 windows (set directly above the ground floor window openings) and again the 2/2 pane horned sash windows are in existence. This building is included as a little altered example of a larger dwelling, and for group value with No.2 and No.2 'The Old Forge'.

Appendix 3:

Bibliography

Cook, Olive
Suffolk, Visions of England
Paul Elek Publishers, 1948

Department of the Environment,
7th list of Buildings of Special Architectural or Historic Interest: Suffolk
London 1985

English Heritage
Developing Best Practice Guidance for Local Heritage Assets
London 2010

English Heritage
Understanding Place, Guidance on Conservation Area Appraisals
London 2005

English Heritage,
Understanding Place, Guidance on the Management of Conservation Areas
London 2005

Freeman, Charles Patrick
Threshing and Thatching; Traditional Crafts and Village Life in East Anglia
East Anglian traction Engine Club, 1996.

Mee, Arthur (ed)
Suffolk, Our Farthest East
Hodder and Stoughton, 1951

Ordnance Survey Maps (Suffolk Series)
1884, 1887, 1904, 1905, 1927, 1957 and 1982-83.

<http://www.old-maps.co.uk/index.html>

Pevsner, Nikolaus & Radcliffe, Enid
The Buildings of England: Suffolk
Harmondsworth 1974.



*Fig 58. No.2 'The Old Forge',
Southwold Road*



Fig 59. No.4 Southwold Road



*Fig 60. Nos. 52-54 High
Street*

Sandon, Eric
*Suffolk Houses. A Study of Domestic
Architecture*
Antique Collectors' Club, 2003

Sotheby's
Benacre Hall, Suffolk. Sale Catalogue
Sotheby's, 2000

White's Directories of Suffolk
1844, 1874
Suffolk Record Office, Lowestoft

Williamson, Tom
Benacre Park
Unpublished manuscript.

Appendix 4:

Useful information

English Heritage:
www.english-heritage.org.uk

Institute of Historic Building Conservation
www.ihbc.org.uk

The Society for the Protection of Ancient
Buildings
www.spab.org.uk

Ancient Monuments Society
www.ancientmonumentsociety.org.uk

Council for British Archaeology
www.britarch.ac.uk

The Twentieth Century Society
www.c20society.org.uk

The Victorian Society
www.victorian-society.org.uk

The Georgian Group
www.georgiangroup.org.uk

The Garden History Society
www.gardenhistorysociety.org

Legislation:

Listed Building and Conservation Areas Act 1990. HMSO

Planning Policy Guidance: Planning and the Historic Environment PPS 5, 2010, HMSO.

Waveney district Article 4(2) directions, available from the planning department at a cost of £7 each.

Waveney District Council Core Strategy, 2009.

Waveney District Council Development Management Policies, due for adoption by the Council in February 2011 to replace the adopted Local Plan of November 1996.

Appendix 5:

Glossary

Bargeboards: A corruption of 'vergeboards'. Boards which are often carved or fretted which are fixed beneath the eaves of a gable to protect the rafters.

Bracket: A projection from a wall designed as a light-duty support, eg. for a hood over a door.

Casement: Hinged light, (window), hung at the side unless specified as top hung, traditionally made of wrought iron in this part of Suffolk.

Catslide roof: One which has a pitch very much longer than the other, usually coming close to the ground.

Coping: A course of stone, brick or cast iron laid on top of a wall.

Cornice: The uppermost of the three main divisions of the Classical entablature. Often used in isolation above an opening.

Flint/cobble: Arranged in rows, as with brickwork.

Dentil: A small square block tightly packed in series, in the cornice of the Ionic and Corinthian orders just above the frieze. May refer to header bricks employed in this way in a band or cornice.

Eaves: Overhanging edge of roof: hence eaves cornice in this location.

English bond: A brick bond created from alternate courses of headers and stretchers.

Entablature: Collective name for the three horizontal members – the frieze, cornice and architrave in classical architecture.

Flemish bond: A brick bond where alternate headers and stretchers are used in each course.

Gable: The triangular section of wall supporting a pitched roof. Often exhibiting tumbled brickwork.

Gauged brick: Soft brick sawn roughly; then rubbed to a precise (gauged) surface. Mostly used for door and window openings. See also rubbed brick.

Horned sash window: One in which the stiles of the upper sash are prolonged down below the meeting rail as horns.

Hipped roof: One without gables, in which the pitches are joined along a line which bisects the angle between them.

Keystone: Central stone in an arch or vault often projecting for decorative effect.

Lintel: Horizontal beam, wedge of vertical bricks, or stone bridging an opening.

Monk bond: A brick bond which is a variation of Flemish bond, with two stretchers in place of one between each pair of headers.

Parapet: A low wall at the top of a wall, i.e. beyond the eaves line (which the parapet conceals) or in a similar position.

Quoins: Dressed or otherwise emphasized stones at the angles of buildings, or their imitation in brick or other materials.

Rendering: The effect or surface produced by covering a wall with a uniform surface.

Segmental arch: A curved arch the shape of a segment, formed by its centre far below the springing line of the arch.

Soldier course: A course of headers, laid on their ends.

Tripartite window: Composed or comprising of 3 parts.

Tumbled brickwork: Courses of brickwork laid at ninety degrees to the slope of a buttress, chimney, gable or other feature and tapering into the horizontal courses; used instead of a coping.

Vernacular: Unpretentious, simple, indigenous, traditional structures made of local materials and following well-tried forms.

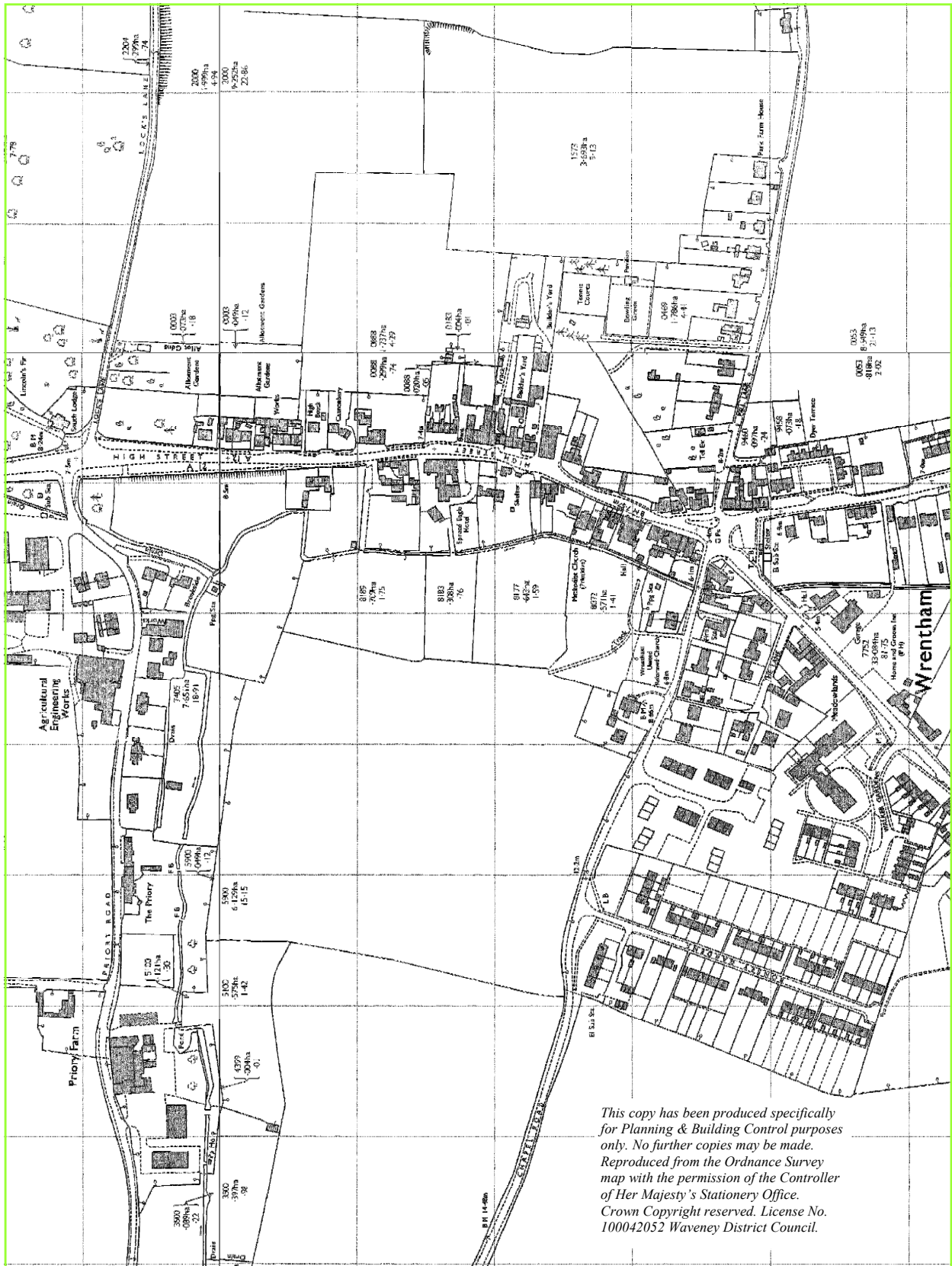


Fig 58. 1975 Ordnance Survey Map of Wrentham



If you would like this document in a large print, other formats or in a language other than English, we will do our best to help.

Please call the design & conservation team on 01502 523077 or email psc@waveney.gov.uk www.waveney.gov.uk

Design and conservation

Telephone: (01502) 523077

Fax: (01502) 514130

Email: psc@waveney.gov.uk

Planning

Telephone: (01502) 523047

Fax: (01502) 514130

Email: psc@waveney.gov.uk

Building control

Telephone: (01502) 523044

Inspection answerphone: (01502) 500040

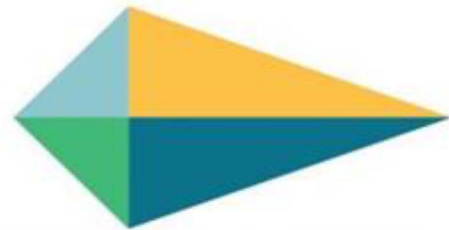
Fax: (01502) 514130

Email: buildingcon-



Waveney District Council
Serving the Community

Wrentham Conservation Area



EASTSUFFOLK
COUNCIL

On 1 April 2019, East Suffolk Council was created by parliamentary order, covering the former districts of Suffolk Coastal District Council and Waveney District Council. [The Local Government \(Boundary Changes\) Regulations 2018](#) (part 7) state that any plans, schemes, statements or strategies prepared by the predecessor council should be treated as if it had been prepared and, if so required, published by the successor council - therefore this document continues to apply to East Suffolk Council until such time that a new document is published.

Management Plan

*Written by
James Darwin and
Dr. Paul Bradley, and
the Waveney District
Council Design &
Conservation Team*

March 2011



Wrentham Conservation Area Management Plan

This plan aims to address the issues and recommendations for action that have arisen from the conservation area appraisal undertaken in 2010. A photographic survey has been completed, and change will be regularly monitored.

Contents

Page 2: -Introduction

***Page 3: -Maintenance and
Conservation***

***Pages 4 & 5 : Map of Wrentham
showing proposed revisions to the
boundary of the conservation area,
together with structures and designed
landscapes which make a positive
contribution to the area (local list)***

Page: 6—Proposed Boundary Revisions

Page: 7 -Action Page

***Pages 8 & 10: - Maps showing
significant green spaces and important
views.***

***Page: 12- Appendix 1: Addresses within
proposed extensions to, and removals
from, the conservation Area.***

***Page: 14- Appendix 2: List descriptions
of listed buildings within the proposed
extensions to the Conservation Area.***

***Page 15:- Appendix 3: Local List
descriptions within proposed extensions
to the Wrentham Conservation Area.***

***Page 21: Appendix 4: Local list
buildings and designed landscapes
outside the conservation area.***

***Page 25: Appendix 5: Spot list
candidates outside the conservation
area.***



Fig 1, Garden of No 18 London Road a prominent green space at the entrance to the conservation area



Fig 2, No 26 High Street, former Boggis electrical store

Maintenance and Conservation

Prevalent and traditional building materials

All new development within the conservation area should demonstrate an awareness of vernacular forms, materials and details. For reference a list of these is given on pages 18 & 19 of the Wrentham Conservation Area Appraisal.

Condition and buildings at risk

Generally the buildings of Wrentham are well cared for. There are no buildings thought to be at significant risk, although a number are either empty, underused, or showing signs of disrepair. These include the former Boggis electrical store and a former stable building on 'The Street'.

Green Spaces and trees

It is desirable to preserve these important spaces in an undeveloped form. They are shown coloured green on Fig 7 and include

The large green field site at the northern end of the High Street at its junction with Priory Road.

The land lying between No.74 High Street and South Lodge.

Those parts of Benacre Hall Park that either fall within the conservation area or impact upon its setting.

The conservation area has relatively few substantial private gardens, however those to No.18 London Road and Nos. 27-29 High Street make a strong contribution to the character of the area.



Fig 3, Looking towards houses on High Street from the fields on the corner of Priory Road.

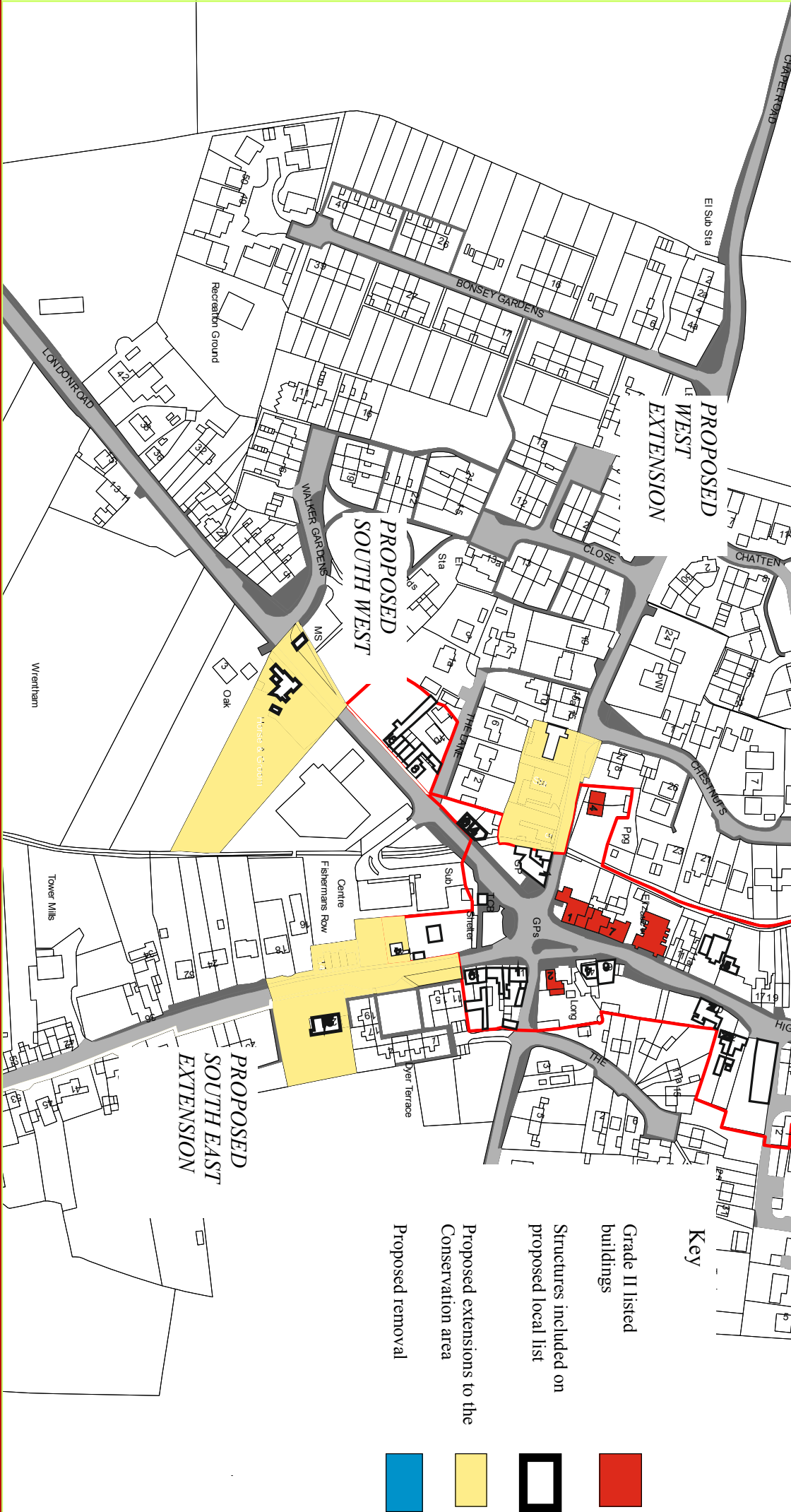


Fig 4, Map showing proposed revisions to the boundary of the Conservation Area, and highlighting listed structures, and structures recommended for inclusion in the Local List.

Boundary Revisions

Suggested boundary changes

Excluded from the conservation area, in addition to many mid- to late twentieth century buildings in Wrentham, are significant surviving historic elements of the village, the most important of these are the following:

Chapel Road

The late nineteenth century former school and master's house proposed for local listing, early twentieth century fire station and No.5

London Road

The Eighteenth Century Horse and Groom Pub proposed for local listing.

Priory Road

The GII listed Priory and Priory Farm, and the nearby c1900 Benacre Estate cottages which are proposed for local listing.

Southwold Road

Fisherman's Row, and the former Hill Farm which is proposed for local listing.

It is therefore recommended that the conservation area be extended to include these areas; this would also give added protection to significant green spaces and important views. It is also recommended that Old Bank Mews, fully developed since the conservation area was originally designated, should now be removed from the conservation area.



Fig 5, No.15 High Street

Article 4(2) Directions for Extensions

It is recommended that the article 4(2) direction, needed to bring the Wrentham conservation area protection in line with most other conservation areas in Waveney, be imposed also within the proposed extensions to it. (See ‘Further Protection through an Article 4(2) direction’ below).

Proposed locally listed properties within extensions to the conservation area

Shown on double page map on pages 4-5 and described in Appendix 3 on page 15.

Action

Further protection through an Article 4(2) direction

In Wrentham, the degradation of elements of the façades of buildings, which is not prevented by the standard conservation area legislation already in place, in particular of doors and windows, is cause for concern, and serious consideration should be given to the provision of added protection through an Article 4(2) direction. This is already in place in all the towns, and most of the village conservation areas in Waveney.

Because these controls are a removal of what would otherwise be ‘permitted development’, the planning application is free. Elevations of a property not visible from a public place are not affected and these enjoy the normal ‘permitted development’ rights for a conservation area.

National Designation Candidates (Spot list)

No.15 High Street

Nos. 22 & 24 High Street

North Lodge, Benacre Hall

Water Tower, Benacre Park

Designed Landscape Registration

The mid and later eighteenth century designed landscape surrounding the GII* Benacre Hall also contains a number of subsidiary listed buildings (including the GII South Lodge), and is an important heritage asset. Whilst the Park could be protected through its inclusion within the conservation area, assessment for registration is arguably a more appropriate first option. English Heritage’s PPS 5 Historic Environment Planning Practice Guide (P12 Para 27.12.2) recognises that at present ‘the *Register of Parks and Gardens of Historic Interest in England* is thought to represent around two thirds of sites potentially deserving inclusion.’

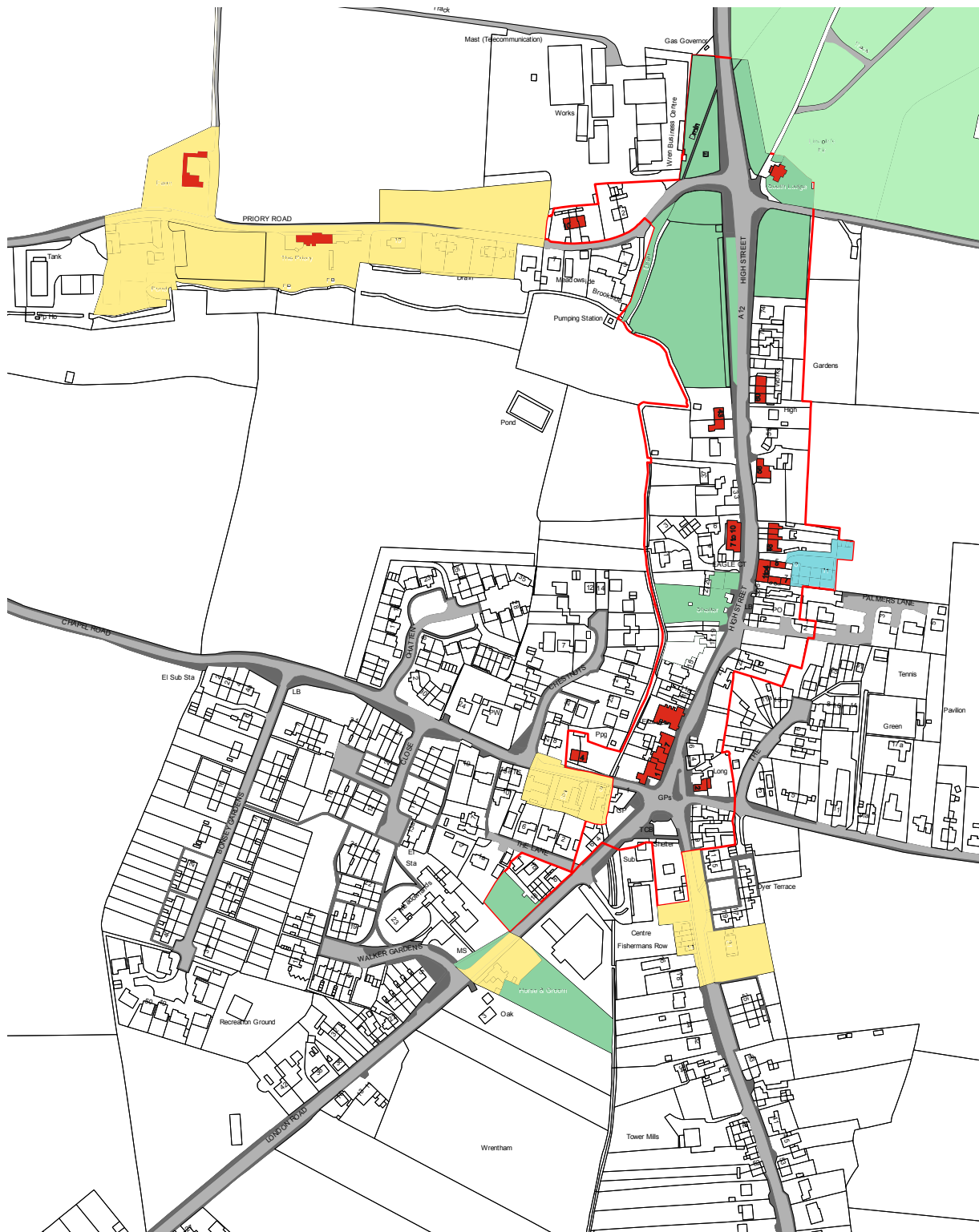
Policy for Locally Listed Properties

As part of its on-going programme of conservation area appraisal work, Waveney District Council has identified structures and designed landscapes which make a positive contribution to its conservation areas, and any proposed extensions to them, either for their architectural or historic interest, and sometimes both. These structures are referred to as ‘locally listed’, and work is underway to develop appropriate policies for their protection.



Fig 6, Nos. 22 & 24 High Street

**Fig 7, Map showing significant green spaces, both within the Wrentham conservation area, and within the proposed extensions to it.
(The existing Conservation Area Boundary is shown as a Red Line)**



Key

GII Listed Buildings



Area Proposed For Removal from Conservation Area



Additional Areas proposed for inclusion Within the revised Conservation Area Boundaries.



Important Open Spaces within the existing Conservation area and proposed extensions



Benace Hall Park which is included on the Proposed Local List and which falls partly within the existing boundary.



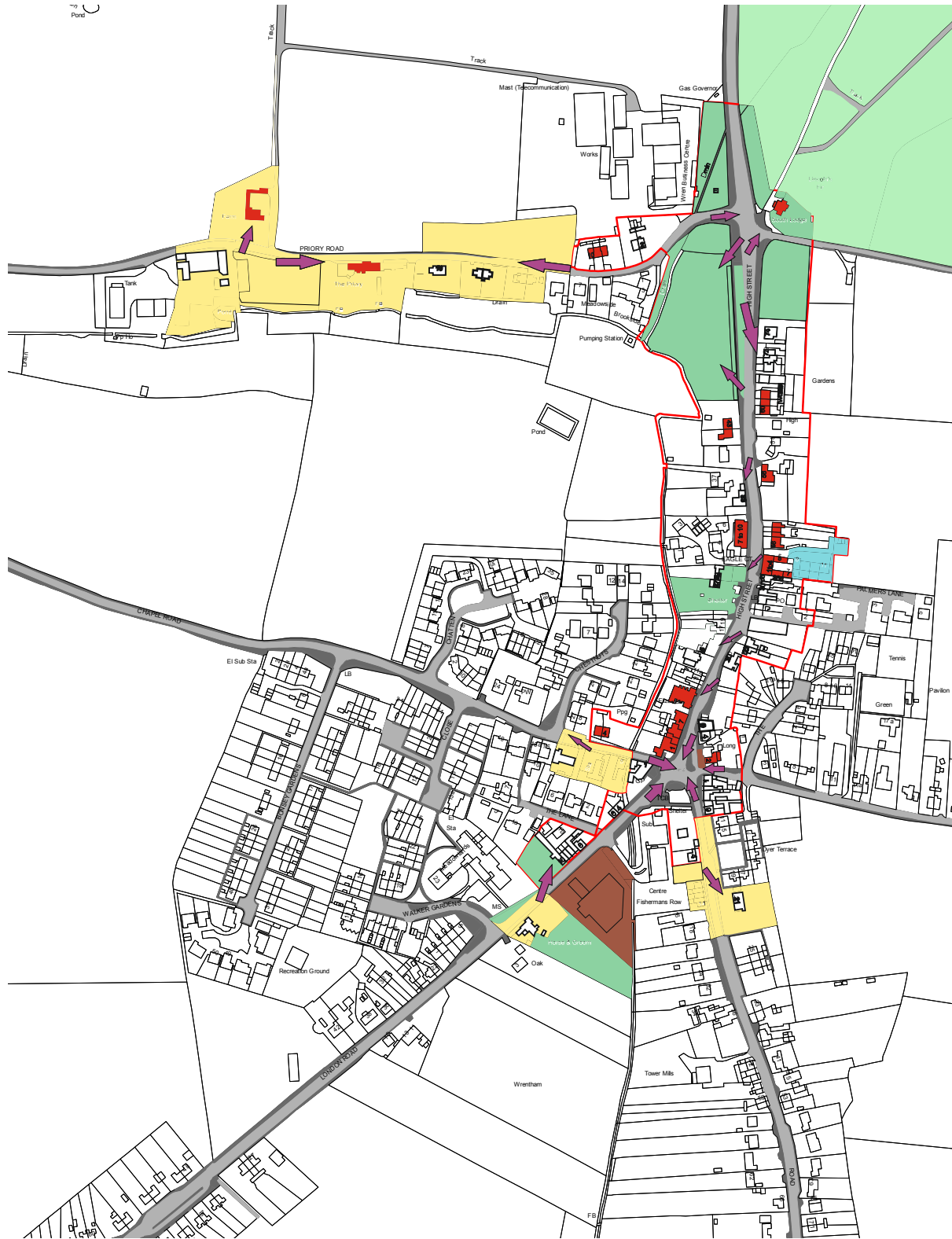


Fig 8 , Clutter on the High Street at junction with Southwold Road



Fig 9, Redundant sign poles and intrusive signage at entrance to conservation area, London Road

**Fig 10, Map showing significant green spaces and important views, both within the Wrentham conservation area, and within the proposed extensions to it.
(The existing Conservation Area Boundary is shown as a Red Line)**



GII Listed Buildings



Additional Areas proposed for inclusion Within the revised Conservation Area Boundaries.



Area of visual intrusion outside of the proposed boundary, which impacts greatly upon the character of the conservation area itself



Area proposed for removal from conservation area



Important open spaces within the existing conservation area and proposed extensions



Benacre Hall Park which is included on the Proposed Local List and which falls partly within the existing boundary.



The Public Realm

The use of higher quality paving materials should be considered in combination with better quality street furniture and lighting.

A rationalisation of the signage and street furniture at the junction of Southwold Road, London Road and the High Street should be seriously considered if compatible with pedestrian and vehicular safety, the street lights and signage in front of Nos. 2 & 4 High Street being in particular need of attention.

Further along the High Street opposite the former Town Hall, is a further group of signs and street furnishings which could benefit from some replacement and/or rationalization.

Similarly the removal of redundant poles and signs from outside No. 18 London Road would considerably improve the entrance to the conservation area from this important thoroughfare.

General Highways Issues, including Pedestrian Safety

All highway enhancement opportunities, appropriate to a rural conservation area and that do not jeopardise safety, should be taken.

Despite safety measures the A12 remains an extremely busy road. Opportunities for improving pedestrian safety should be taken as and when they occur.

The painted white “30” speed limit signs on the carriageway clearly have a beneficial role, although thought should be given to replacing these (if compatible with vehicular and pedestrian safety) with a sign and different road surface, which would indicate clearly the built up area, as well as providing a visual link for the converging roads at the ‘Five Cross Ways’ junction.

Parking

There are designated public car parks adjacent to the village hall and at the junction of the

London and Southwold Roads. Parking bays have also been created along the A12 in order to provide safe parking areas for the houses and businesses which line it.

Very little parking is available however, on minor roads within the conservation area. Opportunities for creating further parking areas should be taken, if supported by residents.

Overhead Cables

Opportunities for undergrounding cables should be taken as and when they occur.

Future Development

Policy CS01 of the Waveney Core Strategy 2009 directs most new development, including housing, to the main towns, with only limited opportunities within larger villages. Generally, it will be expected that development will take place on previously developed land and take into particular account Core Strategy Policies CS02, CS11 and CS17, Development Management Policies DM02, DM22 and DM20, and Planning Policy Statement PPS5 ‘Planning for the Historic Environment’.

Just outside the conservation area boundaries there are a small number of buildings that detract significantly from the character of those parts of the conservation area which they adjoin. The most prominent of these is the Factory Outlet shop on London Road. The uniting problem with these structures is the inappropriateness of their scale. The close proximity to the ‘Five Cross Ways’ junction, at the centre of the conservation area, of the late twentieth century outlet shop and neighbouring village hall has for example, introduced an unwelcome urban character to the immediate area. It would be beneficial to the character of the conservation area as a whole if any future development in close proximity to it could more closely follow the established height, materials and styles employed within its borders.



Fig.11, Clutter on the High Street



Fig. 12, Old Bank Mews which it is proposed to remove from the conservation area



Fig 13, Path between Southwold & London Roads

Appendix 1: Addresses within proposed extensions to, and removals from, the Wrentham Conservation Area.

CHAPEL ROAD EXTENSION

- No. 5 Chapel Road
- Fire Station
- Old School House

LONDON ROAD EXTENSION

- No.1 London Road (The Horse and Groom Public House)

PRIORY ROAD EXTENSION

- Nos. 11 & 13
- Nos. 15 & 17
- No. 19 (Priory Lodge)

The Priory

Priory Farm

SOUTHWOLD ROAD EXTENSION

- Nos. 6-8, 10, 12 & 14 Even, Southwold Road. (Fishermans Row)

No.21 Southwold Road (Hill Farm),

PROPOSED REMOVALS FROM THE CONSERVATION AREA

Old Bank Mews

8, 9, 10, 11 & farm building to east



Fig 14, Priory Farmhouse, Priory Road



Fig 15, No. 21 Southwold Road



Fig 16, *The Priory, Priory Road*

Appendix 2: List descriptions of listed buildings within proposed extensions to the Wrentham Conservation Area.

There are two GII listed buildings, both of which have curtilage structures of considerable character and interest within the proposed Priory Road extension area.

The Priory, Priory Road

House. Early C18 with later alterations and additions. Red brick, pantiled roof. 2 storeys and attic. 2 windows, 3-light mullion and transom casements with square-leaded panes; one window opening blocked. Lobby entrance with 2-storey mid C19 Gothick porch: pointed 2-centre arched doorway with boarded and battened door; the facade of the porch is decorated with pictorial tiles in sunk brick panels and there is a crenellated parapet. To either side are single storey additions, also with crenellated parapets. Mid C20 arched doorway at extreme left of

facade. Brick modillion eaves cornice. Parapet gable ends. Internal stack and gable end stack to left. To the rear are 3 original flat-roofed dormer windows and a cross window, all with square-leaded panes. 2-storey C19 range to right with one bay of blank panels; single storey C19 range to left with 4 blank panels.

Priory Farmhouse, Priory Road

Farmhouse. Early C19. Red brick, hipped roof of glazed black pantiles. 2 storeys and basement. Symmetrical 3-bay facade, the entrance bay set slightly forward: inset sash windows with glazing bars under flat brick arches; 6-panel bolection-moulded door and segmental fanlight with radiating glazing bars. Below the eaves is a Union fire Insurance mark. Single storey mid C20 addition to right.

Appendix 3: Proposed locally listed structures and designed landscapes within the Wrentham Conservation Area extensions

CHAPEL ROAD EXTENSION

Old School House

Believed to date from 1837, and extended in 1871 (see date panel) and again in 1909. Set back from the street behind a mature hedge. Single storey building, with slate tiled roof and profiled overhanging timber eaves boards. To the W exists a large full height gothic arched timber window framed by an alternating gault and red brick surround. To the re-entrant angle, and projecting beyond the face of the W gable is a lower projecting porch of red clay brick, laid in Flemish bond, with expressed gault brick corner pilasters and horizontal block course. Fine gauged brick arch over original timber window. The E return of the porch has a simple timber canopy supported on radiused brackets. Rendered 4 bay accommodation further E (incorporating garage) and apparently of later construction date. This building is included as an example of high quality local design, and as being of historical significance.



Fig 18, Old School House, Chapel Road



Fig 17, Nos. 6-14 Southwold Road



Fig 19, Side view of Horse and Groom Pub, London Road



Fig 20, Horse and Groom Public House, London Road



Fig 21, No. 19 Priory Road

LONDON ROAD EXTENSION

The Horse and Groom Public House. No.1

Originally a pair of early C18 cottages. 3 bay wide, 2 storey central section, with centrally located part-glazed timber door. To the first floor are 2 window openings with modern timber casement windows (although these are replacements, their 3 pane wide glazing pattern likely follows what originally existed). The elevations are cement rendered and painted (except for the N end gable, where the red brick and brick tumble detail is evident). The pitched roof has a red clay pan tile covering, with upstand eaves parapets to each end. To the S end is a large red brick stack (rendered below ridge height) probably serving both the 2 storey central building and the single storey range to the S. The single storey range, which is set back slightly from the principal façade, is likely of later date, possibly early C19, and may have been built when the cottages became an inn. The roof covering and elevations match the main accommodation. To the N is a storey-and-a-half rendered addition, with the gable end fronting the road. To the rear is 2 storey accommodation, with a single storey red pan tiled enclosed porch. Internally, the building has largely been re-fitted, but the bar area retains some exposed timber framing. A detached early C20 single storey red brick building with pan tile roof exists to the E of the public house, and is now used as a garage / store.

Mile Post.

Early C19 painted cast iron. Triangular plan with chamfered and inclined head with radiused top. Raised lettering inscribed “Wrentham to London 105 miles”. To the

left hand side of the base the inscription reads “Yarmouth 18. Lowestoft 8”, with “Ipswich 36. Saxmundham 16” to the right hand side. The post was possibly cast by Barwell & Co, Northampton. It would appear that the cast iron mile post was erected in front of, and attached to, an older stone marker, which exists to the rear.

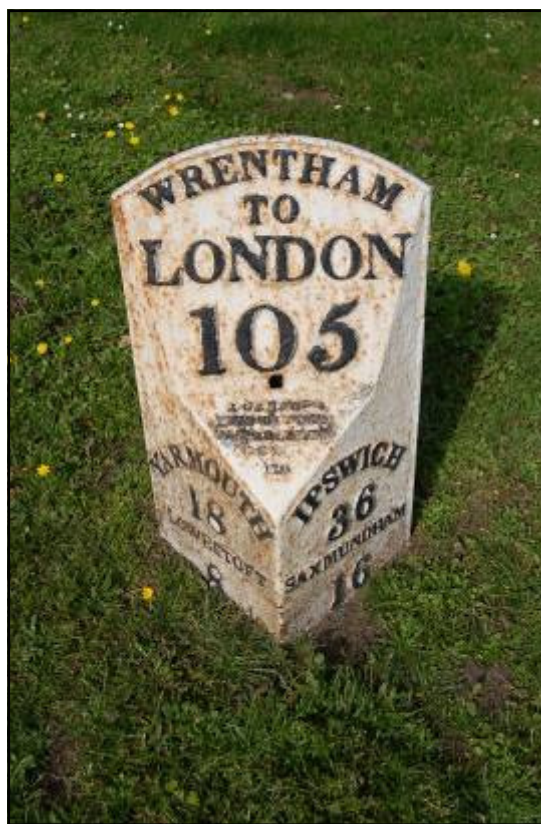


Fig 22, Mile Post, London Road, Wrentham



Fig 23, Farm buildings, Priory Farm, Priory Road



Fig 24, Nos. 15-17 (Odd) Priory Road

PRIORY ROAD EXTENSION

Nos. 15 to 17.

A pair of late C19 / early C20 ‘Benacre estate’ cottages. 2 storeys high, under a pitched glazed black pantile roof. Symmetrical front elevation comprising of a pair of entrance doors, grouped to the centre, flanked to the outer ends by a casement window. To each gable end exists a single storey side projection, with a black glazed pan tile cat-slide roof over. All openings sit under stone heads, each with an expressed key stone detail. To the centre of the elevation, at first floor height, is a blind window. To the front elevation is a raised brick plinth, of matching soft red clay bricks. All brickwork is laid in Flemish bond. The end gables have a raised gable parapet, supported on stone console eaves brackets. A red brick stack with string course and corbelled top sits over each gable end. Note: good quality iron shared hand gate to the front of the dwelling. The property is a little altered example of good quality cottages, erected by the Benacre estate.

No.19, ‘Priory Lodge’.

Of comparable date, design and materials as No’s 15 to 17 (see above), although No.19 is a single dwelling and lacks the single storey gable end accommodation. A centrally located modern single storey porch, with pitched glazed pan tile roof, obscures the original entrance to the property, so it is not possible to ascertain if this house was built as a pair of cottages or a single dwelling. Although the entrance façade has been altered with the addition of the porch, the windows appear original, and the building is included for being a

substantially original estate building within close proximity to a nationally listed structure.

Range of Farm buildings to the S of Priory Farm.

A collection of single storey barns and associated farm structures, of various dates, but predominantly early to mid C19. Fronting the road is a long elevation built largely of red brick laid in Flemish bond. A projecting alternating dentilled brick course exists at eaves height. To the S end is an area of stained timber weatherboarding. The roof is pitched, with a black glazed pan tile covering, and which steps down slightly, approximately halfway along the length of the façade. To the E is a hipped gable end, and to the W the gable end has partial timber weatherboarding to the upper section. The elevation facing the road is punctuated only by a pair of boarded timber doors. A grass verge separates the building from the road. The E return elevation has a mix of stable door openings with associated side window, or a side ventilation panel. Further S is a single boarded door with brick arch head over. Continuing S are 3 high level windows, set beneath concrete lintels.

Detached and to the S is a further mid C19 red brick outbuilding, with a red clay pan tile roof. This building is only partly visible from the public highway. To the rear of the complex exists a tall weatherboarded barn with a thatched roof (only partly visible from the public highway). Presumably of timber framed construction, and of earlier date than the brick built range described above.



Fig 25, The Priory, Priory Road



Fig 26, Nos. 12 & 14 Fisherman's Row, Southwold Road

The barn has smaller, lower thatched additions to the W. This structure was recently converted for commercial use. The collection of farm buildings are included for their group value, and prominent location within a conservation area. They also sit in close proximity to 2 separate listed buildings. Note: it has not been possible to fully ascertain the full range and extent of buildings in this location from a visual inspection from the public highway. The modern iron frame agricultural storage sheds to the W are not included on the local list.

SOUTHWOLD ROAD EXTENSION

No. 21, 'Hill Farm'.

Formerly a pair of cottages. The building sits back from the road, set behind a mature front garden. The property is a storey-and-a-half in height, and late C18 / early C19 in date. The pitched roof is covered with black glazed pan tiles, with projecting gable ends. 2 brick chimney stacks, one to the N gable end, and one located directly over the door to what was the entrance to the right hand cottage. Set within the roof are 2 dormers with cat-slide roofs. The elevations are of red brick, laid in Flemish bond. The ground floor window openings have arched soldier course brick heads, with the doors having gothic arched brick heads. Between the elevations and roof is a projecting dentilled brick course. The doors and windows appear to be replacements. Beyond the left gable end exists a modern brick double garage, with glazed black pan tile roof.

Appendix 4: Buildings and designed landscapes outside the conservation area which have been included on the local list



Fig 27, Pill Box, Benacre Park

BENACRE HALL PARK

Pill Box, SE side of The Street, Benacre (opp. Church of St. Michael).

Situated on the eastern edge of Benacre Park. Hexagonal 'Type 22' Pill Box, c1940. Reinforced concrete construction, with cast rifle embrasures to five sides. Overgrown with vegetation. The pillbox is located within the boundaries of the registered landscape of Benacre Hall and forms part of the setting of the GII* listed church of St Michael.

Benacre Hall Park, (Wrentham and Benacre Parishes)

Multi-phased designed landscape of post medieval origins created for the Gooch family. The park extends over substantial areas of Benacre and Wrentham parishes and falls partly within the boundaries of the Wrentham conservation area.



Fig 28, North Lodge Benacre Hall



Fig 29, North Lodge Benacre,



Fig 30, South Lodge, Benacre

It is bounded to the west by the A12 and to the east by two substantial plantations known as ‘Home Covert’ and ‘Lincolns Fir’ which are included within the area of designation. To the south is the Park Farm and a large lake which are not included. The northern park boundary is located adjacent to the north lodge, and is clearly shown on modern ordnance survey maps. The park gained its present form after the rebuilding of Benacre Hall in 1764.

A compartmentalised deer park surrounding the Hall is shown on an estate survey map by Thomas Barker of Holton dating from the year 1770; this is a relatively rare example of a deer park created in Suffolk during the second half of the eighteenth century. The park was greatly altered and improved between the publication of Hodkinson’s map in 1783, and the year 1827 when Davy reported that ‘The present possessor has done much to improve the property’ (Views of the Seats of Noblemen and Gentlemen in Suffolk, London 1827). Its boundary of the park was extended slightly to the west and further improvements were made by the time of the tithe award survey undertaken in 1840. At the edges of the park are two handsome classical lodge houses of early nineteenth century date. In the later nineteenth century further improvements were made including the building of an impressive water tower and the conversion of a dovecot into a summer house. Late nineteenth century maps show a series of clay pits around the edges of the park. Benacre Hall is now apartments and a new house designed for the Gooch family by the architect Charles Morris has recently been erected within the designed landscape. The slightly undulating parkland contains a walled garden with extensive glass houses, shrubberies, and pleasure grounds, in addition to substantial areas of woodland. The park forms the setting of a number of listed buildings including the Hall, stables, summer house, and ‘South Lodge’ (in Wrentham parish) other buildings are protected as curtilage structures. It is included as a relatively unaltered example of a late Georgian park which forms the setting of a number of notable listed buildings, and which also contributes positively to the character of the Wrentham conservation area.

Only a small part of the park falls within the conservation area boundary. It is therefore included here.

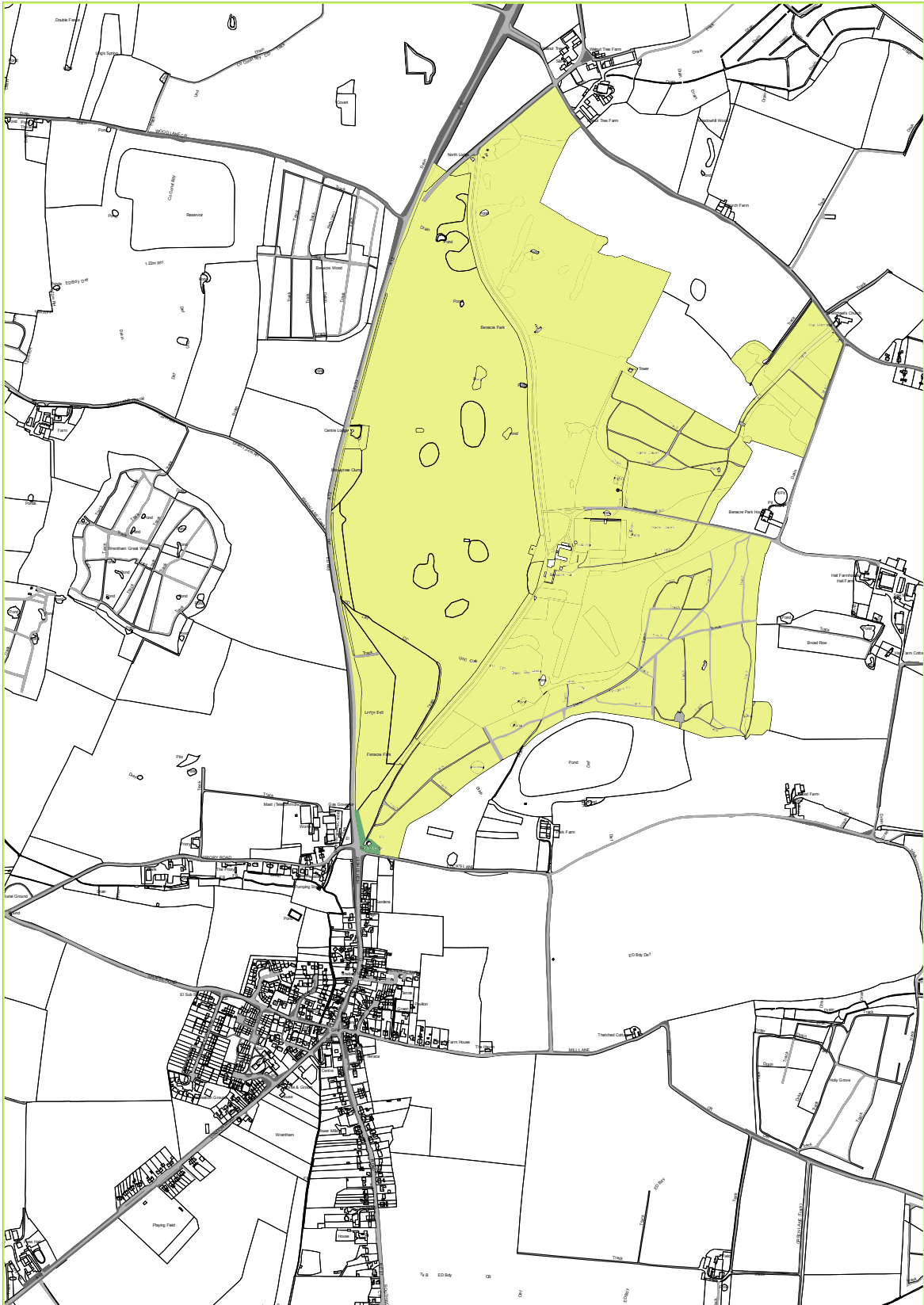


Fig 31, Benacre Hall Park, showing the boundary of the locally listed area. That part of the park within the conservation area is shown in deep green.



Fig 32, North Lodge Benacre Park



Fig 33, Water Tower, Benacre Park



Fig 34, Nos. 21-23 , Mill Lane

The following two structures are located within the locally listed park to Benacre Hall and may already enjoy protection as curtilage structures to this GII listed mansion. Their status therefore needs further clarification. A thorough examination of the park at Benacre was not possible at the time of survey and it is possible that other structures of local list quality exist within its boundaries.

North Lodge, Benacre Hall (c.f. South Lodge, High Street).

Lodge to Benacre Hall. Early C19. Single storey. Almost identical to the South Lodge, except for detailing. 3 bay wide entrance front, set at right angles to a former section of the A12 (the road having been re-routed). Advanced central section with shallow basket arch, forming recessed open porch area. Above is a pedimented gable end. Either side of the entrance bay is a single 6/6 sash window with slender glazing bars, set within heavily moulded wooden surrounds. To all external angles are raised brick quoins (which differ to the corner pilaster treatment evident to the South Lodge). The roof is of shallow pitch, with hipped ends, and is covered with slate. Set centrally is a substantial gault brick chimney stack. To the south are two attached projecting wings, of apparently contemporary date, with gable ends to the east and west elevations. To the south elevation is a further pedimented gable, and the whole makes for an eccentric roofline, mixing gable ends and hipped construction. A mid C20 addition obscures much of the south elevation. The west wing has a slender chimney stack (the same originally existed to the east, but this has been removed).

Water Tower, Benacre Park

Substantial and ornate brick water tower built for the Benacre Hall estate in 1902, reputedly retaining original machinery. Apparently originally containing living accommodation located between the pump room and tank. Built of machine brick with stone and concrete dressings. Lower stages of each face embellished with engaged pilasters and blind arched recesses. A prominent landmark within the parkland of Benacre Hall.

MILL LANE

Nos. 21-23 Mill Lane

A pair of two and a half storey Benacre estate houses of a similar design to Nos. 2 & 4 Priory Road. The front elevation has an inscription plaque of “T.V.S.G, 1900”. The properties are of red brick with stone heads over all openings with a ‘chamfer swept to a point’ detail. Original un-horned timber sash windows to the street elevation. The steeply pitched roof is covered with profiled red clay tiles, with a red brick chimney stack to each gable end. Over each property is a single dormer window with pitched roof, set back from the eaves. The windows to the dormers are not original. Front doors replaced. The gable ends are punctuated by 3no small timber casement windows at ground, first and attic storey. The houses are good and substantially unaltered examples of Benacre estate housing. Forms part a group with No.25 Mill Lane.

No. 25 Mill Lane

A substantial detached Benacre Estate house of two storeys. The front elevation has an inscription plaque baring the legend “T.V.S.G. 1900” above the main entrance door. Built of red brick with chamfered and stopped stone lintels, horned painted timber sash windows. The pitched pantile roof is flanked by substantial gable end chimney stacks. A good and relatively unaltered example of a substantial detached estate house.



Fig 35, No.25 Mill Lane

Appendix 5: Buildings outside the conservation area proposed for statutory listing and/or registration (and local listing in the interim and indefinitely if statutory listing cannot be achieved)

North Lodge, Benacre Hall

Water Tower, Benacre Park

Benacre Hall Park

If you would like this document in a large print; in other formats or in a language other than in English, we will do our best to help. Please call the Design & Conservation Team on 01502 523077 or e-mail pbcc@waveney.gov.uk

www.waveney.gov.uk

Design & Conservation

Telephone (01502) 523077

Fax: (01502) 514130

Email pbcc@waveney.gov.uk

Planning

Telephone (01502) 514617

Fax: (01502) 514130

Email pbcc@waveney.gov.uk

Building Control

Telephone (01502) 523044

Inspection answer-phone (01502) 500040

Fax: (01502) 514130

Email buildingcontrol@waveney.gov.uk